

AREA BEING REPLATTED THROUGH PUBLIC HEARING WITH WRITTEN NOTIFICATION NOT-TO-SCALE

0.211 ACRES BEING REPLATTED WAS PREVIOUSLY PLATTED AS A VARIABLE WIDTH DRAINAGE EASEMENT OF THE LADERA HILLS-PHASE II PLAT RECORDED IN VOLUME 100 N.E. LOOP 410, SUITE 1155, SAN ANTONIO, TEXAS 78216 (210) 403-6200.

THE AREA BEING REPLATTED WAS PREVIOUSLY PLATTED ON PLAT LADERA HILLS-PHASE II, PLAT NUMBER 21-11800648, WHICH IS RECORDED IN VOLUME 100 N.E. LOOP 410, SUITE 1155, SAN ANTONIO, TEXAS 78216 (210) 403-6200.

BY: U.S. HOMES CORPORATION, A DELAWARE CORPORATION, ITS GENERAL PARTNER

BY: NAME: RICHARD MOIT
TITLE: AUTHORIZED AGENT

STATE OF TEXAS
COUNTY OF BEXAR

BEFORE ME, THE UNDERSIGNED AUTHORITY ON THIS DAY PERSONALLY APPEARED RICHARD MOIT KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN EXPRESSED AND IN THE CAPACITY THEREIN STATED, GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS DAY OF March 20, A.D. 2023.

NOTARY PUBLIC, BEXAR COUNTY, TEXAS

STATE OF TEXAS
COUNTY OF BEXAR

I HEREBY CERTIFY THAT PROPER ENGINEERING CONSIDERATION HAS BEEN GIVEN THIS PLAT TO THE MATTERS OF STREETS, LOTS AND DRAINAGE LAYOUT. TO THE BEST OF MY KNOWLEDGE THIS PLAT CONFORMS TO ALL REQUIREMENTS OF THE UNIFIED DEVELOPMENT CODE, EXCEPT FOR THOSE VARIANCES GRANTED BY THE SAN ANTONIO PLANNING COMMISSION.

STATE OF TEXAS
COUNTY OF BEXAR

I HEREBY CERTIFY THAT THE ABOVE PLAT CONFORMS TO THE MINIMUM STANDARDS SET FORTH BY THE TEXAS BOARD OF PROFESSIONAL ENGINEERS AND LAND SURVEYING ACCORDING TO AN ACTUAL SURVEY MADE ON THE GROUND BY: PAPE-DAWSON ENGINEERS, INC.

STATE OF TEXAS
COUNTY OF BEXAR

REGISTERED PROFESSIONAL LAND SURVEYOR

CPS/SAWS/COSA UTILITY:

1. THE CITY OF SAN ANTONIO AS PART OF ITS ELECTRIC, GAS, WATER, AND WASTEWATER SYSTEMS - CITY PUBLIC SERVICE BOARD (CPS ENERGY) AND SAN ANTONIO WATER SYSTEM (SAWS) - IS HEREBY DEDICATED EASEMENTS AND RIGHTS-OF-WAY FOR UTILITY, TRANSMISSION AND DISTRIBUTION INFRASTRUCTURE AND SERVICE FACILITIES IN THE AREAS DESIGNATED ON THIS PLAT AS "ELECTRIC EASEMENT," "ANCHOR EASEMENT," "SEWER EASEMENT," "OVERHANG EASEMENT," "UTILITY EASEMENT," "GAS EASEMENT," "TRANSFORMER EASEMENT," "WATER EASEMENT," "SANITARY SEWER EASEMENT" AND/OR "RECYCLED WATER EASEMENT" FOR THE PURPOSE OF INSTALLING, CONSTRUCTING, RECONSTRUCTING, MAINTAINING, REMOVING, INSPECTING, PATROLLING AND ERECTING UTILITY INFRASTRUCTURE AND SERVICE FACILITIES FOR THE REASONS DESCRIBED ABOVE. CPS ENERGY AND SAWS SHALL ALSO HAVE THE RIGHT TO RELOCATE SAID INFRASTRUCTURE AND SERVICE FACILITIES WITHIN EASEMENT AND RIGHT-OF-WAY AREAS, TOGETHER WITH THE RIGHT OF INGRESS AND EGRESS OVER GRANTORS ADJACENT LANDS FOR THE PURPOSE OF ACCESSING SUCH INFRASTRUCTURE AND SERVICE FACILITIES WITHOUT AN ENCROACHMENT AGREEMENT WITH THE RESPECTIVE UTILITY. 2. ANY CPS ENERGY OR SAWS MONETARY LOSS RESULTING FROM MODIFICATIONS REQUIRED OF CPS ENERGY OR SAWS INFRASTRUCTURE AND SERVICE FACILITIES, LOCATED WITHIN SAID EASEMENTS, DUE TO GRADE CHANGES OR GROUND ELEVATION ALTERATIONS SHALL BE CHARGED TO THE PERSON OR PERSONS DEEMED RESPONSIBLE FOR SAID GRADE CHANGES OR GROUND ELEVATION ALTERATIONS. 3. THIS PLAT DOES NOT AMEND, ALTER, RELEASE OR OTHERWISE AFFECT ANY EXISTING ELECTRIC, GAS, WATER, SEWER, DRAINAGE, TELEPHONE, CABLE TV EASEMENTS OR ANY OTHER EASEMENTS FOR UTILITIES UNLESS THE CHANGES TO SUCH EASEMENTS ARE DESCRIBED HEREON. 4. CONCRETE DRIVEWAY APPROACHES ARE ALLOWED WITHIN THE FIVE (5) AND TEN (10) FOOT WIDE ELECTRIC AND GAS EASEMENTS WHEN LOTS ARE SERVED ONLY BY UNDERGROUND ELECTRIC AND GAS FACILITIES. 5. ROOF OVERHANGS ARE ALLOWED WITHIN THE FIVE (5) AND TEN (10) FOOT WIDE ELECTRIC AND GAS EASEMENTS WHEN ONLY UNDERGROUND ELECTRIC AND GAS FACILITIES ARE PROPOSED OR EXISTING WITHIN THOSE FIVE (5) AND TEN (10) FOOT WIDE EASEMENTS.

SAWS IMPACT FEE:

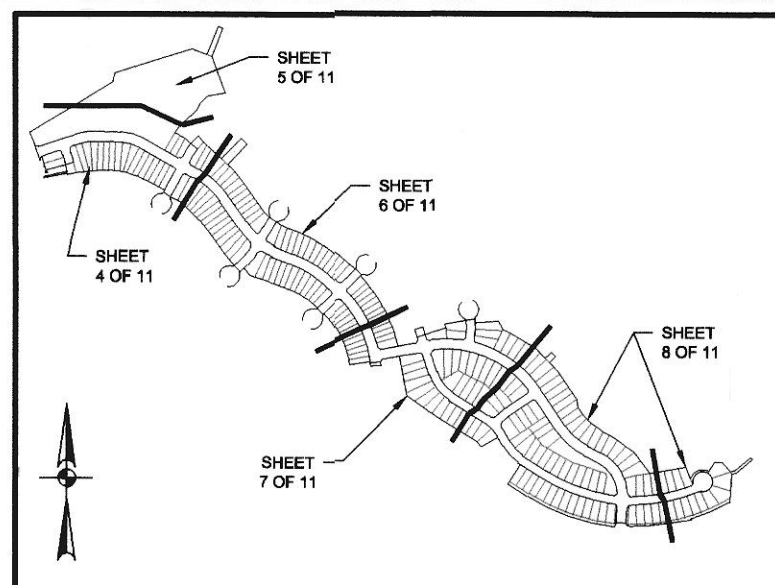
WATER AND/OR WASTEWATER IMPACT FEES WERE NOT PAID AT THE TIME OF PLATTING FOR THIS PLAT. ALL IMPACT FEES MUST BE PAID PRIOR TO WATER METER SET AND/OR WASTEWATER SERVICE CONNECTION.

SAWS WASTEWATER EDU:

THE NUMBER OF WASTEWATER EQUIVALENT DWELLING UNITS (EDU'S) PAID FOR THIS SUBDIVISION PLAT ARE KEPT ON FILE UNDER THE PLAT NUMBER AT THE SAN ANTONIO WATER SYSTEM.

LEGEND

AC ACRE(S)	GETCTV GETCTV EASEMENT AND	DPR DEED AND PLAT RECORDS OF	FOUND 1/2" IRON ROD
BLK BLOCK	CABLE TV	BEXAR COUNTY, TEXAS	(PD UNLESS NOTED OTHERWISE)
CB COUNTY BLOCK	MINIMUM	OPR OFFICIAL PUBLIC RECORDS	SET 1/2" IRON ROD (PD)
DOC NO DOCUMENT NUMBER	PG PAGE	(OFFICIAL PUBLIC RECORDS OF	SET 1/2" IRON ROD (PD)-ROW
DTL DETAIL	ROW RIGHT-OF-WAY	REAL PROPERTY) OF BEXAR	EASEMENT POINT OF
ETJ EXTRATERRITORIAL JURISDICTION	SHT SHEET	COUNTY, TEXAS	INTERSECTION
	VOL VOLUME	PR PLAT RECORDS OF	
		BEXAR COUNTY, TEXAS	
1140 EXISTING CONTOURS			
1140 PROPOSED CONTOURS			
EL CENTERLINE			
FEMA EFFECTIVE 1% ANNUAL CHANCE (100 YEAR) FLOODPLAIN PER PANEL NO 48029C0345F, DATED SEPTEMBER 29, 2010, FOR BEXAR COUNTY, TEXAS			
PROPOSED 1% ANNUAL CHANCE (100 YEAR) BASE FLOODPLAIN (ATLAS 14) PER CLOMR CASE NO 23-06-0429R, PREPARED BY PAPE-DAWSON ENGINEERS, INC.			
PROPOSED 1% ANNUAL CHANCE (100 YEAR) ULTIMATE DEVELOPMENT FLOODPLAIN (ATLAS 14) PER CLOMR CASE NO 23-06-0429R, PREPARED BY PAPE-DAWSON ENGINEERS, INC.			
14' GETCTV EASEMENT	23' 12' PRIVATE DRAINAGE EASEMENT (LOTS 1-3, BLOCK 72, LOTS 14-16, BLOCK 73)	7' 20' SANITARY SEWER, AND GETCTV EASEMENT (PERMEABLE) (VOL 20002, PG 1927-1930, PR)	19' 20' BUILDING SETBACK (LADERA HILLS-PHASE II) (PLAT NO 21-11800648) (CONCURRENT PLAT)
10' GETCTV EASEMENT	24' 24' DRAINAGE EASEMENT (TOTAL: 0.007 OF AN ACRE, "OFF-LOT", PERMEABLE)	8' 20' GETCTV EASEMENT (PERMEABLE) (VOL 20002, PG 1927-1930, PR)	20' 28' GETCTV EASEMENT (LADERA HILLS-PHASE II) (PLAT NO 21-11800648) (CONCURRENT PLAT)
1' VEHICULAR NON-ACCESS EASEMENT (NOT-TO-SCALE)	25' 60' WATER, SEWER, GETCTV, MAINTENANCE AND ACCESS EASEMENT TO EXPIRE UPON INCORPORATION INTO PLATTED PUBLIC STREET ROW (TOTAL: 0.028 OF AN ACRE, "OFF-LOT", PERMEABLE)	9' 16' SANITARY SEWER EASEMENT (VOL 20002, PG 1927-1930, PR)	21' 14' GETCTV EASEMENT (LADERA HILLS-PHASE II) (PLAT NO 21-11800648) (CONCURRENT PLAT)
VARIABLE WIDTH CLEAR VISION EASEMENT	26' VARIABLE WIDTH GETCTV, MAINTENANCE, AND ACCESS EASEMENT TO EXPIRE UPON INCORPORATION INTO PLATTED PUBLIC STREET ROW (TOTAL: 1.597 OF AN ACRE, "OFF-LOT", PERMEABLE)	10' VARIABLE WIDTH GETCTV EASEMENT (VOL 20002, PG 1927-1930, PR)	22' 5' WATER EASEMENT (LADERA HILLS-PHASE II) (PLAT NO 21-11800648) (CONCURRENT PLAT)
10' BUILDING SETBACK	27' VARIABLE WIDTH GETCTV, MAINTENANCE, AND ACCESS EASEMENT	11' 14' GETCTV EASEMENT (VOL 20002, PG 1164, PR)	23' 15' DRAINAGE EASEMENT (LADERA HILLS-PHASE II) (PLAT NO 21-11800648) (CONCURRENT PLAT)
15' BUILDING SETBACK (NOT-TO-SCALE)	28' 30' DRAINAGE EASEMENT (TOTAL: 0.125 OF AN ACRE, "OFF-LOT", PERMEABLE)	12' 21' 3' X 70' PERMEABLE SANITARY SEWER, WATER, ELECTRIC, GAS, CABLE TV, AND DRAINAGE EASEMENT (EASEMENT TO EXPIRE UPON INCORPORATION INTO PLATTED PUBLIC RIGHT-OF-WAY) (VOL 20002, PG 1164, PR)	24' 16' PERMANENT SEWER EASEMENT (DOC NO 20220120045, OPR)
15' DRAINAGE EASEMENT	29' 28' GETCTV EASEMENT	13' 40' DRAINAGE EASEMENT (PERMEABLE) (VOL 9727, PG 129-130, DPR)	25' 16' SEWER EASEMENT (VOL 5174, PG 1708-1714, OPR)
5' WATER EASEMENT (LOTS 40-41, BLOCK 53, LOTS 4-5, BLOCK 61, LOTS 19-20, BLOCK 69)	30' 5' GETCTV EASEMENT	14' 14' GETCTV EASEMENT (VOL 9727, PG 129-130, DPR)	26' VARIABLE WIDTH GAS EASEMENT (LADERA HILLS-PHASE II) (PLAT NO 21-11800648) (CONCURRENT PLAT)
16' SEWER EASEMENT (TOTAL: 0.081 OF AN ACRE, "OFF-LOT", PERMEABLE)	1' GETCTV EASEMENT (VOL 20002, PG 1927-1930, PR)	15' 12' GETCTV EASEMENT (VOL 9727, PG 129-130, DPR)	1 UNPLATTED REMAINDER OF 196.388 ACRE LENNAR HOMES OF TEXAS LAND AND CONSTRUCTION, LTD. (DOC NO 20220056593, OPR)
14' GETCTV EASEMENT (TOTAL: 0.043 OF AN ACRE, "OFF-LOT", PERMEABLE)	2' 10' BUILDING SETBACK LINE, GAS, ELECTRIC, TELEPHONE, AND CABLE TV EASEMENT (VOL 20002, PG 1927-1930, PR)	16' VARIABLE WIDTH DRAINAGE, MAINTENANCE, AND ACCESS EASEMENT TO EXPIRE UPON INCORPORATION INTO PLATTED PUBLIC STREET ROW (LADERA HILLS-PHASE II) (PLAT NO 21-11800648) (CONCURRENT PLAT)	2 FEMA EFFECTIVE 1% ANNUAL CHANCE (100 YEAR) FLOODPLAIN PER PANEL NO 48029C0345F, DATED SEPTEMBER 29, 2010, FOR BEXAR COUNTY, TEXAS
50' WATER, SEWER, GETCTV, MAINTENANCE AND ACCESS EASEMENT TO EXPIRE UPON INCORPORATION INTO PLATTED PUBLIC STREET ROW (TOTAL: 0.193 OF AN ACRE, "OFF-LOT", PERMEABLE)	3' 1' VEHICULAR NON-ACCESS EASEMENT (NOT-TO-SCALE) (VOL 20002, PG 1927-1930, PR)	17' 14' GETCTV EASEMENT (VOL 9727, PG 129-130, DPR)	3 PROPOSED 1% ANNUAL CHANCE (100 YEAR) BASE FLOODPLAIN (ATLAS 14) PER CLOMR CASE NO 23-06-0429R, PREPARED BY PAPE-DAWSON ENGINEERS, INC.
10' WATER EASEMENT (TOTAL: 0.033 OF AN ACRE, "OFF-LOT", PERMEABLE)	4' VARIABLE WIDTH CLEAR VISION EASEMENT (VOL 20002, PG 1927-1930, PR)	18' 14' GETCTV EASEMENT (LADERA HILLS-PHASE II) (PLAT NO 21-11800648) (CONCURRENT PLAT)	4 PROPOSED 1% ANNUAL CHANCE (100 YEAR) ULTIMATE DEVELOPMENT FLOODPLAIN (ATLAS 14) PER CLOMR CASE NO 23-06-0429R, PREPARED BY PAPE-DAWSON ENGINEERS, INC.
15' GETCTV EASEMENT (LOTS 40-41, BLOCK 53, LOTS 4-5, BLOCK 61, LOTS 19-20, BLOCK 69)	5' 10' BUILDING SETBACK LINE, AND GETCTV EASEMENT (VOL 20002, PG 1927-1930, PR)		5 LOT 902, BLOCK 53, CB 4347 WATER EASEMENT PERMEABLE (0.309 ACRES)
16' SEWER EASEMENT	6' 16' SANITARY SEWER EASEMENT (EASEMENT TO EXPIRE UPON INCORPORATION INTO PLATTED PUBLIC RIGHT-OF-WAY) (VOL 20002, PG 1927-1930, PR)		
50' DRAINAGE EASEMENT (TOTAL: 0.192 OF AN ACRE, "OFF-LOT", PERMEABLE)			
35' DRAINAGE EASEMENT (TOTAL: 0.042 OF AN ACRE, "OFF-LOT", PERMEABLE)			



INDEX MAP NOT-TO-SCALE

PLAT NUMBER
21-11800671

REPLAT AND SUBDIVISION PLAT ESTABLISHING MILLBROOK-UNIT 1A

BEING A TOTAL OF 51.957 ACRE TRACT OF LAND, OUT OF THAT 196.348 ACRE TRACT OF LAND RECORDED IN DOCUMENT NUMBER 20220056593, OF THE OFFICIAL PUBLIC RECORDS OF BEXAR COUNTY, TEXAS, OUT OF THE JUANA MARTINEZ SURVEY NUMBER 14 1/2, ABSTRACT NUMBER 1114, COUNTY BLOCK 4016, BEXAR, TEXAS, ESTABLISHING LOT 1-49, 214-217 AND 901-903, BLOCK 53, LOT 1-17, BLOCK 58, LOT 1-15, BLOCK 60, LOT 1-15, BLOCK 61, LOT 1-14, BLOCK 63, LOT 1-13, BLOCK 64, LOT 1-2, BLOCK 65, LOT 1-12, BLOCK 66, LOT 1-13, BLOCK 67, LOT 2-30 AND 901, BLOCK 69, LOT 1, 12, AND 13, BLOCK 70, LOT 1-20, BLOCK 72, LOT 1-21, AND 901, BLOCK 73, COUNTY BLOCK 4347, BEXAR COUNTY, TEXAS.

PAPE-DAWSON ENGINEERS

SAN ANTONIO | AUSTIN | HOUSTON | FORT WORTH | DALLAS
2000 NW LOOP 410 | SAN ANTONIO, TX 78213 | 210.375.9000
TEXAS ENGINEERING FIRM #470 | TEXAS SURVEYING FIRM #10028800

DATE OF PREPARATION: March 15, 2023

STATE OF TEXAS
COUNTY OF BEXAR

THE OWNER OF LAND SHOWN ON THIS PLAT, IN PERSON OR THROUGH A DULY AUTHORIZED AGENT, DEDICATES TO THE USE OF THE PUBLIC, EXCEPT AREAS IDENTIFIED AS PRIVATE OR PART OF AN ENCLAVE OR PLANNED UNIT DEVELOPMENT, FOREVER ALL STREETS, ALLEYS, PARKS, WATERCOURSES, DRAINS, EASEMENTS AND PUBLIC PLACES THEREON SHOWN FOR THE PURPOSE AND CONSIDERATION THEREIN EXPRESSED.

LENNAR HOMES OF TEXAS LAND AND CONSTRUCTION, LTD., A TEXAS LIMITED PARTNERSHIP
100 N.E. LOOP 410, SUITE 1155
SAN ANTONIO, TX 78216
(210) 403-6200

BY: U.S. HOMES CORPORATION, A DELAWARE CORPORATION, ITS GENERAL PARTNER

BY: NAME: RICHARD MOIT
TITLE: AUTHORIZED AGENT

STATE OF TEXAS
COUNTY OF BEXAR

BEFORE ME, THE UNDERSIGNED AUTHORITY ON THIS DAY PERSONALLY APPEARED RICHARD MOIT KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN EXPRESSED AND IN THE CAPACITY THEREIN STATED, GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS DAY OF March 20, A.D. 2023.

NOTARY PUBLIC, BEXAR COUNTY, TEXAS

CERTIFICATE OF APPROVAL

THE UNDERSIGNED, COUNTY JUDGE OF BEXAR COUNTY, TEXAS AND PRESIDING OFFICER OF THE COMMISSIONERS COURT OF BEXAR COUNTY, DOES HEREBY CERTIFY THAT THE ATTACHED PLAT WAS DULY FILED WITH THE COMMISSIONERS COURT OF BEXAR COUNTY, TEXAS AND THAT AFTER EXAMINATION IT APPEARED THAT SAID PLAT IS IN CONFORMITY WITH THE STATUTES, RULES AND REGULATIONS GOVERNING SAME, AND THIS PLAT WAS APPROVED BY THE SAID COMMISSIONERS COURT.

DATED THIS DAY OF A.D. 20

COUNTY JUDGE, BEXAR COUNTY, TEXAS

COUNTY CLERK, BEXAR COUNTY, TEXAS

THIS PLAT OF MILLBROOK-UNIT 1A HAS BEEN SUBMITTED TO AND CONSIDERED BY THE PLANNING COMMISSION OF THE CITY OF SAN ANTONIO, TEXAS, IS HEREBY APPROVED BY SUCH COMMISSION IN ACCORDANCE WITH STATE OR LOCAL LAWS AND REGULATIONS; AND/OR WHERE ADMINISTRATIVE EXCEPTION(S) AND/OR VARIANCE(S) HAVE BEEN GRANTED.

DATED THIS DAY OF A.D. 20

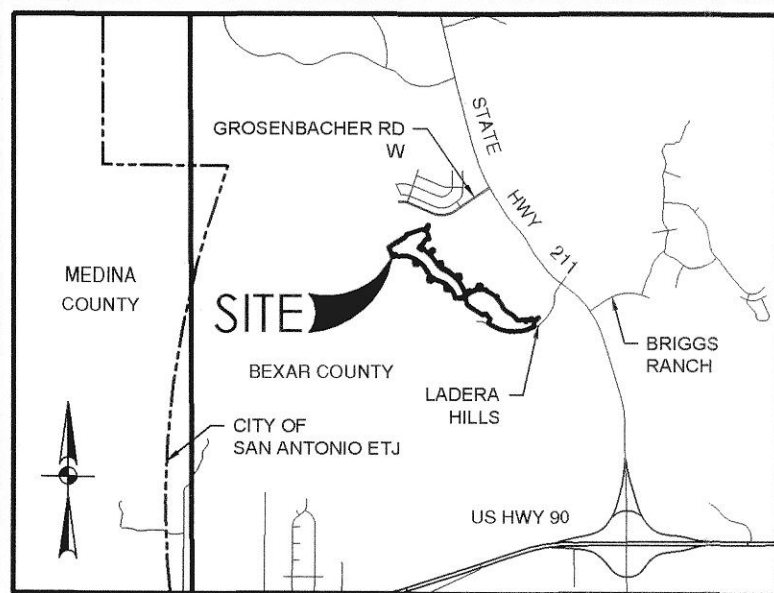
BY: CHAIRMAN

BY: SECRETARY

PLAT NOTES APPLY TO EVERY PAGE
OF THIS MULTIPLE PAGE PLAT

SEE SHEET 2 & 3 FOR LINE AND
CURVE TABLES

SHEET 1 OF 11



LOCATION MAP
NOT-TO-SCALE

CPS/SAWS/COSA UTILITY:

1. THE CITY OF SAN ANTONIO AS PART OF ITS ELECTRIC, GAS, WATER, AND WASTEWATER SYSTEMS - CITY PUBLIC SERVICE BOARD (CPS ENERGY) AND SAN ANTONIO WATER SYSTEM (SAWS) - IS HEREBY DEDICATED EASEMENTS AND RIGHTS-OF-WAY FOR UTILITY, TRANSMISSION AND DISTRIBUTION INFRASTRUCTURE AND SERVICE FACILITIES IN THE AREAS DESIGNATED ON THIS PLAT AS ELECTRIC EASEMENT, "ANGHORE EASEMENT," "SERVICE EASEMENT," "OVERHANG EASEMENT," "UTILITY EASEMENT," "GAS EASEMENT," "TRANSFORMER EASEMENT," "WATER EASEMENT," "SANITARY SEWER EASEMENT" AND/OR "RECYCLED WATER EASEMENT" FOR THE PURPOSE OF INSTALLING, CONSTRUCTING, RECONSTRUCTING, MAINTAINING, REMOVING, INSPECTING, PATROLLING, AND ERECTING UTILITY INFRASTRUCTURE AND SERVICE FACILITIES FOR THE REASONS DESCRIBED ABOVE. CPS ENERGY AND SAWS SHALL ALSO HAVE THE RIGHT TO RELOCATE SAID INFRASTRUCTURE AND SERVICE FACILITIES WITHIN EASEMENT AND RIGHT-OF-WAY AREAS, TOGETHER WITH THE RIGHT OF INGRESS AND EGRESS OVER GRANTOR'S ADJACENT LANDS FOR THE PURPOSE OF ACCESSING SUCH INFRASTRUCTURE AND SERVICE FACILITIES AND THE RIGHT TO REMOVE FROM SAID LANDS ALL TREES OR PARTS THEREOF, OR OTHER OBSTRUCTIONS WHICH ENDANGER OR MAY INTERFERE WITH THE EFFICIENCY OF WATER, SEWER, GAS, AND/OR ELECTRIC INFRASTRUCTURE AND SERVICE FACILITIES. NO BUILDING, STRUCTURE, CONCRETE SLABS, OR WALLS WILL BE PLACED WITHIN EASEMENT AREAS WITHOUT AN ENCROACHMENT AGREEMENT WITH THE RESPECTIVE UTILITY.

2. ANY CPS ENERGY OR SAWS MONETARY LOSS RESULTING FROM MODIFICATIONS REQUIRED OF CPS ENERGY OR SAWS INFRASTRUCTURE AND SERVICE FACILITIES, LOCATED WITHIN SAID EASEMENTS, DUE TO GRADE CHANGES OR GROUND ELEVATION ALTERATIONS SHALL BE CHARGED TO THE PERSON OR PERSONS DEEMED RESPONSIBLE FOR SAID GRADE CHANGES OR GROUND ELEVATION ALTERATIONS.

3. THIS PLAT DOES NOT AMEND, ALTER, RELEASE OR OTHERWISE AFFECT ANY EXISTING ELECTRIC, GAS, WATER, SEWER, DRAINAGE, TELEPHONE, CABLE TV EASEMENTS OR ANY OTHER EASEMENTS FOR UTILITIES UNLESS THE CHANGES TO SUCH EASEMENTS ARE DESCRIBED HEREON.

4. CONCRETE DRIVEWAY APPROACHES ARE ALLOWED WITHIN THE FIVE (5) AND TEN (10) FOOT WIDE ELECTRIC AND GAS EASEMENTS WHEN LOTS ARE SERVED ONLY BY UNDERGROUND ELECTRIC AND GAS FACILITIES.

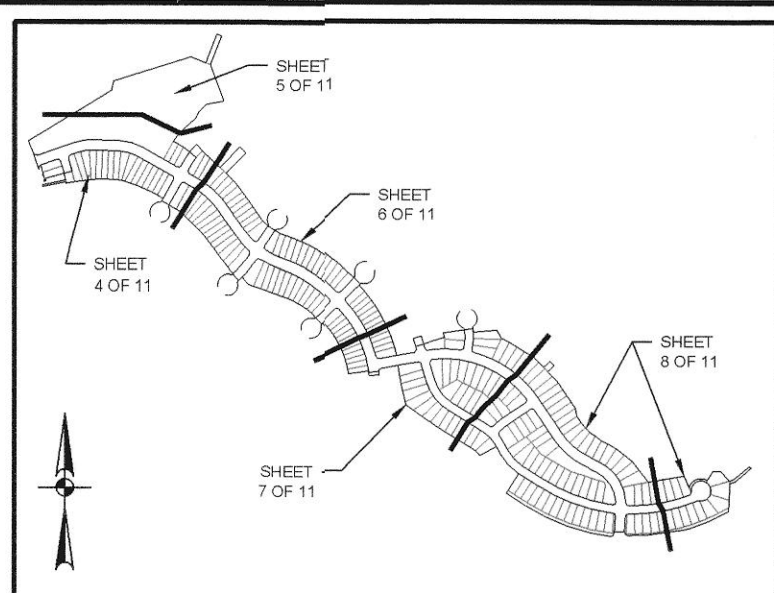
5. ROOF OVERHANGS ARE ALLOWED WITHIN THE FIVE (5) AND TEN (10) FOOT WIDE ELECTRIC AND GAS EASEMENTS WHEN ONLY UNDERGROUND ELECTRIC AND GAS FACILITIES ARE PROPOSED OR EXISTING WITHIN THOSE FIVE (5) AND TEN (10) FOOT WIDE EASEMENTS.

SAWS IMPACT FEE:

WATER AND/OR WASTEWATER IMPACT FEES WERE NOT PAID AT THE TIME OF PLATTING FOR THIS PLAT. ALL IMPACT FEES MUST BE PAID PRIOR TO WATER METER SET AND/OR WASTEWATER SERVICE CONNECTION.

SAWS WASTEWATER EDU:

THE NUMBER OF WASTEWATER EQUIVALENT DWELLING UNITS (EDU'S) PAID FOR THIS SUBDIVISION PLAT ARE KEPT ON FILE UNDER THE PLAT NUMBER AT THE SAN ANTONIO WATER SYSTEM.



INDEX MAP
NOT-TO-SCALE

PLAT NUMBER 21-11800671

REPLAT AND SUBDIVISION PLAT ESTABLISHING MILLBROOK-UNIT 1A

BEING A TOTAL OF 51.957 ACRE TRACT OF LAND, OUT OF THAT 196.368 ACRE TRACT OF LAND RECORDED IN DOCUMENT NUMBER 20220056593, OF THE OFFICIAL PUBLIC RECORDS OF BEXAR COUNTY, TEXAS, OUT OF THE JUANA MARTINEZ SURVEY NUMBER 14 1/2, ABSTRACT NUMBER 1114, COUNTY BLOCK 4016, BEXAR, TEXAS, ESTABLISHING LOT 1-49, 214-217 AND 901-903, BLOCK 53, LOT 1-17, BLOCK 58, LOT 1-15, BLOCK 60, LOT 1-15, BLOCK 61, LOT 1-14, BLOCK 63, LOT 1-13, BLOCK 64, LOT 1-2, BLOCK 65, LOT 1-12, BLOCK 66, LOT 1-13, BLOCK 67, LOT 2-30 AND 901, BLOCK 69, LOT 1, 12, AND 13, BLOCK 70, LOT 1-20, BLOCK 72, LOT 1-21, AND 901, BLOCK 73, COUNTY BLOCK 4347, BEXAR COUNTY, TEXAS.



SAN ANTONIO | AUSTIN | HOUSTON | FORT WORTH | DALLAS
2000 NW LOOP 410 | SAN ANTONIO, TX 78213 | 210.375.8000
TEXAS ENGINEERING FIRM #470 | TEXAS SURVEYING FIRM #10028800

DATE OF PREPARATION: March 15, 2023

STATE OF TEXAS
COUNTY OF BEXAR

THE OWNER OF LAND SHOWN ON THIS PLAT, IN PERSON OR THROUGH A DULY AUTHORIZED AGENT, DEDICATES TO THE USE OF THE PUBLIC, EXCEPT AREAS IDENTIFIED AS PRIVATE OR PART OF AN ENCLAVE OR PLANNED UNIT DEVELOPMENT, FOREVER ALL STREETS, ALLEYS, PARKS, WATERCOURSES, DRAINS, EASEMENTS AND PUBLIC PLACES THEREON SHOWN FOR THE PURPOSE AND CONSIDERATION THEREIN EXPRESSED.

LENNAR HOMES OF TEXAS LAND AND CONSTRUCTION, LTD., A TEXAS LIMITED PARTNERSHIP
100 N.E. LOOP 410, SUITE 1155
SAN ANTONIO, TX 78216
(210) 403-6200

BY: U.S. HOMES CORPORATION, A DELAWARE CORPORATION, ITS GENERAL PARTNER

NAME: RICHARD MOTT
TITLE: AUTHORIZED AGENT

STATE OF TEXAS
COUNTY OF BEXAR

BEFORE ME, THE UNDERSIGNED AUTHORITY ON THIS DAY PERSONALLY APPEARED RICHARD MOTT KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN EXPRESSED AND IN THE CAPACITY THEREIN STATED, GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS 20th DAY OF March, A.D. 2023.

NOTARY PUBLIC, BEXAR COUNTY, TEXAS

CERTIFICATE OF APPROVAL

THE UNDERSIGNED, COUNTY JUDGE OF BEXAR COUNTY, TEXAS AND PRESIDING OFFICER OF THE COMMISSIONERS COURT OF BEXAR COUNTY, TEXAS, DOES HEREBY CERTIFY THAT THE ATTACHED PLAT WAS DULY FILED WITH THE COMMISSIONERS COURT OF BEXAR COUNTY, TEXAS AND THAT AFTER EXAMINATION IT APPEARED THAT SAID PLAT IS IN CONFORMITY WITH THE STATUTES, RULES AND REGULATIONS GOVERNING SAME, AND THIS PLAT WAS APPROVED BY THE SAID COMMISSIONERS COURT.

DATED THIS _____ DAY OF _____, A.D. 20 ____.

COUNTY JUDGE, BEXAR COUNTY, TEXAS

COUNTY CLERK, BEXAR COUNTY, TEXAS

THIS PLAT OF MILLBROOK-UNIT 1A HAS BEEN SUBMITTED TO AND CONSIDERED BY THE PLANNING COMMISSION OF THE CITY OF SAN ANTONIO, TEXAS, IS HEREBY APPROVED BY SUCH COMMISSION IN ACCORDANCE WITH STATE OR LOCAL LAWS AND REGULATIONS, AND/OR WHERE ADMINISTRATIVE EXCEPTION(S) AND/OR VARIANCE(S) HAVE BEEN GRANTED.

DATED THIS _____ DAY OF _____, A.D. 20 ____.

BY: _____ CHAIRMAN

BY: _____ SECRETARY

LINE TABLE			LINE TABLE			LINE TABLE			LINE TABLE			LINE TABLE		
LINE #	BEARING	LENGTH	LINE #	BEARING	LENGTH	LINE #	BEARING	LENGTH	LINE #	BEARING	LENGTH	LINE #	BEARING	LENGTH
L1	N58°47'55"E	581.45'	L59	N12°49'57"W	27.13'	L117	N36°15'24"W	28.32'	L175	N11°25'13"E	13.32'	L233	N37°46'07"E	115.00'
L2	N13°41'29"E	57.13'	L60	N81°12'47"E	127.82'	L118	N39°13'13"W	28.32'	L176	N11°25'13"E	13.32'	L234	S47°42'16"W	41.71'
L3	S68°33'34"E	96.60'	L61	N85°08'27"E	142.77'	L119	N41°33'21"W	44.06'	L177	N63°31'58"W	91.22'	L235	S39°18'26"W	49.93'
L4	N21°26'26"E	183.44'	L62	S28°44'51"E	55.17'	L120	S45°54'17"W	6.51'	L178	S88°36'58"W	37.99'	L236	S31°31'12"W	28.52'
L5	S63°34'09"E	30.11'	L63	S63°44'42"E	52.90'	L121	N44°21°01"W	39.73'	L179	S88°36'58"W	40.11'	L237	N31°31'12"E	120.00'
L6	S21°26'26"W	180.82'	L64	S58°05'03"E	181.80'	L122	N48°43'28"W	32.73'	L180	N3°29°31"E	92.96'	L238	S43°09°31"E	43.35'
L7	S79°20'43"W	108.86'	L65	S43°44'18"E	74.19'	L123	N58°18'07"W	32.81'	L181	N3°29°31"E	92.96'	L239	S44°51'51"E	42.85'
L8	S44°36'17"W	62.74'	L66	N46°43'41"E	52.58'	L124	N59°09'49"W	32.52'	L182	N81°37'55"W	43.56'	L240	S34°13'14"E	46.21'
L9	S25°57'27"W	43.39'	L67	S43°16'19"E	35.00'	L125	N62°38'03"W	32.40'	L183	N57°23'57"W	156.89'	L241	S55°46'46"W	128.44'
L10	S48°44'31"W	80.00'	L68	S46°43'41"W	52.30'	L126	N66°06'18"W	32.28'	L184	N29°05'57"W	70.63'	L242	S39°18'55"E	45.18'
L11	S36°40'16"W	64.92'	L69	S43°44'18"E	40.22'	L127	N72°54'13"W	45.51'	L185	N58°28'48"W	249.13'	L243	N60°29'29"W	31.22'
L12	S61°09'40"E	70.00'	L70	S43°44'18"E	44.00'	L128	N69°13'01"W	34.45'	L186	N16°49'48"W	126.24'	L244	S3°29°31"W	118.50'
L13	S52°09'46"E	45.54'	L71	S10°23'18"E	49.19'	L129	N42°26'06"W	52.17'	L187	S81°10'12"W	51.94'	L245	N3°29°31"E	118.50'
L14	S40°04'45"E	50.00'	L72	S34°13'18"E	44.89'	L130	S47°33'54"W	29.91'	L188	S82°47'22"W	60.00'	L246	S10°04'23"E	135.04'
L15	S47°44'10"E	143.76'	L73	S38°59'13"E	38.53'	L131	N42°26'06"W	17.56'	L189	S45°54'17"W	113.01'	L247	S11°06'23"E	120.00'
L16	S45°34'55"E	50.00'	L74	S48°11'47"E	38.53'	L132	N39°28'23"W	288.04'	L190	N44°05'43"W	50.00'	L248	S16°57'01"E	16.00'
L17	S47°44'10"E	18.84'	L75	S57°36'00"E	38.52'	L133	N50°36'27"W	35.37'	L191	S45°54'17"W	113.01'	L249	N15°58'49"E	14.58'
L18	S44°14'59"E	42.02'	L76	S50°30'23"E	45.32'	L134	N60°18'24"W	64.57'	L192	N35°01'38"E	25.51'	L250	S74°01'11"E	24.00'
L19	S39°01'38"E	41.97'	L77	S63°31'58"E	45.00'	L135	N29°41'36"E	15.60'	L193	N47°33'54"E	58.56'	L251	S15°58'49"W	11.89'
L20	S37°57'48"E	44.47'	L78	S60°30'11"E	57.91'	L136	N60°18'24"W	44.93'	L194	N42°26'06"W	50.00'	L252	S56°21'55"E	12.09'
L21	S36°01'36"E	33.15'	L79	S52°04'34"E	60.88'	L137	N62°57'48"W	42.20'	L195	N47°33'54"E	58.56'	L253	S01°41'5"W	18.55'
L22	S46°59'37"E	42.14'	L80	S52°32'09"E	62.44'	L138	N66°07'47"W	42.36'	L196	N35°01'38"E	25.51'			
L23	S59°04'50"E	35.54'	L81	S38°01'08"E	155.45'	L139	N64°37'38"W	43.01'	L197	N61°09'40"W	53.07'			
L24	S68°13'23"E	36.13'	L82	N80°07'08"E	216.80'	L140	N72°55'44"W	42.85'	L198	S28°50'20"W	47.54'			
L25	S69°56'16"E	37.00'	L83	S22°42'54"E	74.74'	L141	N70°38'06"W	43.56'	L199	S29°41'36"W	83.07'			
L26	S69°09'38"E	37.05'	L84	N31°01'39"E	64.77'	L142	N79°56'26"W	43.32'	L200	N60°18'24"W	50.00'			
L27	S69°01'51"E	38.94'	L85	S89°59'56"E	45.62'	L143	N87°27'34"W	105.40'	L201	N29°41'36"E	83.07'			
L28	S66°24'47"E	40.04'	L86	S41°23'08"E	78.64'	L144	S83°22'08"W	145.90'	L202	N28°50'20"E	47.54'			
L29	S63°43'18"E	40.04'	L87	N73°02'59"E	28.09'	L145	S78°57'51"W	50.00'	L203	N61°09'40"W	233.10'			
L30	S61°01'49"E	40.04'	L88	N49°19'25"E	117.53'	L146	S78°22'58"W	142.66'	L204	S71°23'24"W	44.14'			
L31	S59°03'13"E	40.06'	L89	S65°41'35"E	17.66'	L147	N78°22'58"E	142.54'	L205	N18°36'36"W	14.81'			
L32	S56°21'43"E	40.08'	L90	S73°02'59"W	31.45'	L148	S75°04'38"W	121.77'	L206	S75°04'38"W	50.00'			
L33	S53°40'12"E	40.10'	L91	S30°3'08"W	167.10'	L149	N14°03'47"W	20.52'	L207	N18°36'36"W	19.81'			
L34	S50°58'41"E	40.13'	L92	N82°18'54"E	72.90'	L150	S77°00'49"W	5.85'	L208	S71°23'24"W	103.95'			
L35	S48°17'10"E	40.15'	L93	N86°30'29"W	60.00'	L151	N75°30'35"E	5.88'	L209	S83°10'12"W	5.09'			
L36	S53°22'30"E	44.71'	L94	S3°29°31"W	11.01'	L152	N14°03'47"W	10.44'	L210	S33°10'12"W	22.98'			
L37	S45°56'57"W	5.01'	L95	N57°23'57"W	141.43'	L153	N16°56'14"W	44.69'	L211	S16°49'48"E	114.81'			
L38	S41°17'56"E	48.34'	L96	N32°24'55"E	140.00'	L154	N77°00'49"E	13.00'	L212	S58°28'48"E	249.13'			
L39	S39°38'57"E	34.42'	L97	N57°23'57"W	15.01'	L155	S12°35'49"E	7.58'	L213	N44°12'31"E	18.43'			
L40	S37°20'30"E	34.40'	L98	N29°05'57"W	61.37'	L156	S77°35°01"W	13.00'	L214	S63°31'58"E	91.22'			
L41	S35°02'03"E	34.38'	L99	S60°54'03"W	113.28'	L157	N12°35'57"W	7.45'	L215	N44°12'31"E	18.43'			
L42	S32°43'36"E	34.36'	L100	N41°05'14"W	38.22'	L158	S28°50'20"W	41.18'	L216	N29°05'57"W	70.63'			
L43	S30°25'08"E	34.34'	L101	N57°19'16"W	37.92'	L159	S51°06'54"E	50.00'	L217	N57°23'57"W	156.89'			
L44	S28°06'41"E	34.32'	L102	N58°28'48"W	241.54'	L160	S28°50'20"W	41.18'	L218	S81°37'55"E	34.89'			
L45	S26°38'21"E	34.30'	L103	N13°14'27"W	115.00'	L161	S61°09'40"E	53.07'	L219	S18°36'36"E	14.00'			
L46	S24°19'55"E	34.30'	L104	N10°08'20"W	125.08'	L162	S35°18'41"E	188.13'	L220	N71°23'24"E	43.17'			
L47	S22°01'30"E	34.30'	L105	S79°19'35"W	103.73'	L163	N35°01'38"E	27.74'	L221	N33°28'26"E	132.63'			
L48	S19°43'04"E	34.30'	L106	S84°25'35"W	60.00'	L164	N32°41'08"E	70.00'	L222	N31°37'30"E	165.15'			
L49	S17°24'39"E	34.30'	L107	S82°00'50"W	122.50'	L165	S57°18'52"E	50.00'	L223	N64°30'52"E	122.00'			
L50	S13°34'35"E	52.97'	L108	N9°28'51"W	28.56'	L166	S32°41'08"W	70.00'	L224	N64°06'58"E	122.50'			
L51	N79°19'35"E	37.28'	L109	N12°28'13"W	28.56'	L167	S35°01'38"W	27.74'	L225	N2°28'01"W	68.66'			
L52	N81°10'12"E	39.29'	L110	N15°27'35"W	28.56'	L168	S69°56'16"E	110.27'	L226	N59°53'52"E	25.98'			
L53	N32°10'12"E	22.64'	L111	N18°26'56"W	28.56'	L169	N45°54'17"E	64.66'	L227	N62°10'18"W	39.07'			
L54	N16°49'48"W	18.26'	L112	N21°25'55"W	28.44'	L170	N45°56'57"E	48.06'	L228	N64°57'48"W	43.45'			
L55	N16°49'48"W	32.22'	L113	N24°24'07"W	28.32'	L171	S44°03'03"E	50.00'	L229	N61°09'37"W	45.05'			
L56	N72°15'07"E	50.00'	L114	N27°21'57"W	28.32'	L172	N45°56'57"E	48.06'	L230	N68°25'45"W	45.69'			
L57	S16°49'48"E	32.22'	L115	N30°19'46"W	28.32'	L173	S45°54'17"W	64.66'	L231	N46°06'53"W	69.94'			
L58	N73°10'12"E	129.25'	L116	N33°17'35"W	28.32'	L174	S16°49'48"E	29.51'	L232	N39°18'37"E	142.43'			

STATE OF TEXAS
COUNTY OF BEXAR

I HEREBY CERTIFY THAT PROPER ENGINEERING CONSIDERATION HAS BEEN GIVEN THIS PLAT TO THE MATTERS OF STREETS, LOTS AND DRAINAGE LAYOUT. TO THE BEST OF MY KNOWLEDGE THIS PLAT CONFORMS TO ALL REQUIREMENTS OF THE UNIFIED DEVELOPMENT CODE, EXCEPT FOR THOSE VARIANCES GRANTED BY THE SAN ANTONIO PLANNING COMMISSION.

STATE OF TEXAS
COUNTY OF BEXAR

I HEREBY CERTIFY THAT

PLAT NUMBER
21-11800671REPLAT AND SUBDIVISION PLAT
ESTABLISHING
MILLBROOK-UNIT 1A

BEING A TOTAL OF 51.957 ACRETRACT OF LAND, OUT OF THAT 196.368 ACRETRACT OF LAND RECORDED IN DOCUMENT NUMBER 20220056593, OF THE OFFICIAL PUBLIC RECORDS OF BEXAR COUNTY, TEXAS, OUT OF THE JUANA MARTINEZ SURVEY NUMBER 14 1/2, ABSTRACT NUMBER 1114, COUNTY BLOCK 4016, BEXAR, TEXAS, ESTABLISHING LOT 1-49, 214-217 AND 901-903, BLOCK 53, LOT 1-17, BLOCK 58, LOT 1-15, BLOCK 60, LOT 1-15, BLOCK 61, LOT 1-14, BLOCK 63, LOT 1-13, BLOCK 64, LOT 1-2, BLOCK 65, LOT 1-12, BLOCK 66, LOT 1-13, BLOCK 67, LOT 2-30 AND 901, BLOCK 69, LOT 1, 12, AND 13, BLOCK 70, LOT 1-20, BLOCK 72, LOT 1-21, AND 901, BLOCK 73, COUNTY BLOCK 4347, BEXAR COUNTY, TEXAS.

**PAPE-DAWSON
ENGINEERS**

SAN ANTONIO | AUSTIN | HOUSTON | FORT WORTH | DALLAS
2000 NW LOOP 410 | SAN ANTONIO, TX 78213 | 210.375.9000
TEXAS ENGINEERING FIRM #470 | TEXAS SURVEYING FIRM #10028800

DATE OF PREPARATION: March 15, 2023

STATE OF TEXAS
COUNTY OF BEXAR

THE OWNER OF LAND SHOWN ON THIS PLAT, IN PERSON OR THROUGH A DULY AUTHORIZED AGENT, DEDICATES TO THE USE OF THE PUBLIC, EXCEPT AREAS IDENTIFIED AS PRIVATE OR PART OF AN ENCLAVE OR PLANNED UNIT DEVELOPMENT, FOREVER ALL STREETS, ALLEYS, PARKS, WATERCOURSES, DRAINS, EASEMENTS AND PUBLIC PLACES THEREON SHOWN FOR THE PURPOSE AND CONSIDERATION THEREIN EXPRESSED.

LENNAR HOMES OF TEXAS LAND AND
CONSTRUCTION, LTD., A TEXAS LIMITED
PARTNERSHIP
100 N.E. LOOP 410, SUITE 1155
SAN ANTONIO, TX 78216
(210) 403-6200

BY: U.S. HOMES CORPORATION, A DELAWARE
CORPORATION, ITS GENERAL PARTNERBY: 
NAME: RICHARD MOTT
TITLE: AUTHORIZED AGENTSTATE OF TEXAS
COUNTY OF BEXAR

BEFORE ME, THE UNDERSIGNED AUTHORITY ON THIS DAY PERSONALLY APPEARED
RICHARD MOTT KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO
THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE
SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN EXPRESSED AND IN THE
CAPACITY THEREIN STATED, GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS
20th DAY OF March, A.D. 2022.

NOTARY PUBLIC, BEXAR COUNTY, TEXAS

CERTIFICATE OF APPROVAL

THE UNDERSIGNED, COUNTY JUDGE OF BEXAR COUNTY, TEXAS AND PRESIDING
OFFICER OF THE COMMISSIONERS COURT OF BEXAR COUNTY, DOES HEREBY CERTIFY
THAT THE ATTACHED PLAT WAS DULY FILED WITH THE COMMISSIONERS COURT OF
BEXAR COUNTY, TEXAS AND THAT AFTER EXAMINATION IT APPEARED THAT SAID PLAT IS
IN CONFORMITY WITH THE STATUTES, RULES AND REGULATIONS GOVERNING SAME,
AND THIS PLAT WAS APPROVED BY THE SAID COMMISSIONERS COURT.

DATED THIS _____ DAY OF _____, A.D. 20 _____

COUNTY JUDGE, BEXAR COUNTY, TEXAS

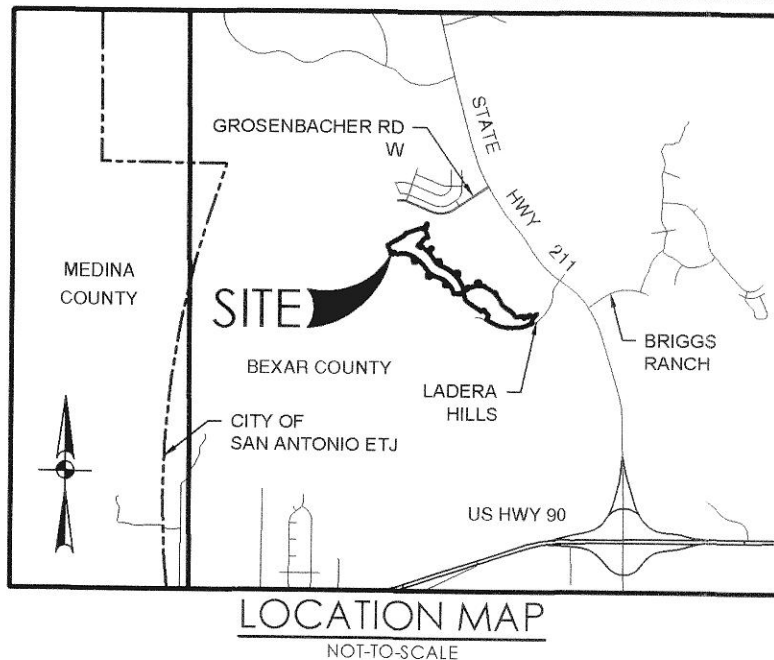
COUNTY CLERK, BEXAR COUNTY, TEXAS

THIS PLAT OF MILLBROOK-UNIT 1A HAS BEEN SUBMITTED TO AND CONSIDERED BY
THE PLANNING COMMISSION OF THE CITY OF SAN ANTONIO, TEXAS, IS HEREBY
APPROVED BY SUCH COMMISSION IN ACCORDANCE WITH STATE OR LOCAL LAWS
AND REGULATIONS; AND/OR WHERE ADMINISTRATIVE EXCEPTION(S) AND/OR
VARIANCE(S) HAVE BEEN GRANTED.

DATED THIS _____ DAY OF _____, A.D. 20 _____

BY: _____ CHAIRMAN

BY: _____ SECRETARY



CPS/SAWS/COSA UTILITY:

1. THE CITY OF SAN ANTONIO AS PART OF ITS ELECTRIC, GAS, WATER, AND WASTEWATER SYSTEMS - CITY PUBLIC SERVICE BOARD (CPS ENERGY) AND SAN ANTONIO WATER SYSTEM (SAWS) - IS HEREBY DEDICATING EASEMENTS AND RIGHTS-OF-WAY FOR UTILITY, TRANSMISSION AND DISTRIBUTION INFRASTRUCTURE AND SERVICE FACILITIES IN THE AREAS DESIGNATED ON THIS PLAT AS "ELECTRIC EASEMENT," "ANCHOR EASEMENT," "SERVICE EASEMENT," "OVERHANG EASEMENT," "UTILITY EASEMENT," "GAS EASEMENT," "TRANSFORMER EASEMENT," "WATER EASEMENT," "SANITARY SEWER EASEMENT" AND/OR "RECYCLED WATER EASEMENT" FOR THE PURPOSE OF INSTALLING, CONSTRUCTING, RECONSTRUCTING, MAINTAINING, REMOVING, INSPECTING, PATROLLING, AND EXPECTING UTILITY INFRASTRUCTURE AND SERVICE FACILITIES FOR THE REASONS DESCRIBED ABOVE. CPS ENERGY AND SAWS SHALL ALSO HAVE THE RIGHT TO RELOCATE SAID INFRASTRUCTURE AND SERVICE FACILITIES WITHIN EASEMENT AND TO RELOCATE SAID INFRASTRUCTURE AND SERVICE FACILITIES LOCATED WITHIN SAID EASEMENTS, DUE TO GRADE CHANGES OR GROUND ELEVATION ALTERATIONS SHALL BE CHARGED TO THE PERSON OR PERSONS DEEMED RESPONSIBLE FOR SAID GRADE CHANGES OR GROUND ELEVATION ALTERATIONS.

2. ANY CPS ENERGY OR SAWS INFRASTRUCTURE AND SERVICE FACILITIES LOCATED WITHIN SAID EASEMENTS, DUE TO GRADE CHANGES OR GROUND ELEVATION ALTERATIONS SHALL BE CHARGED TO THE PERSON OR PERSONS DEEMED RESPONSIBLE FOR SAID GRADE CHANGES OR GROUND ELEVATION ALTERATIONS.

3. THIS PLAT DOES NOT AMEND, ALTER, RELEASE OR OTHERWISE AFFECT ANY EXISTING ELECTRIC, GAS, WATER, SEWER, DRAINAGE, TELEPHONE, CABLE TV EASEMENTS OR ANY OTHER EASEMENTS FOR UTILITIES UNLESS THE CHANGES TO SUCH EASEMENTS ARE DESCRIBED HEREON.

4. CONCRETE DRIVEWAY APPROACHES ARE ALLOWED WITHIN THE FIVE (5) AND TEN (10) FOOT WIDE ELECTRIC AND GAS EASEMENTS WHEN LOTS ARE SERVED ONLY BY UNDERGROUND ELECTRIC AND GAS FACILITIES.

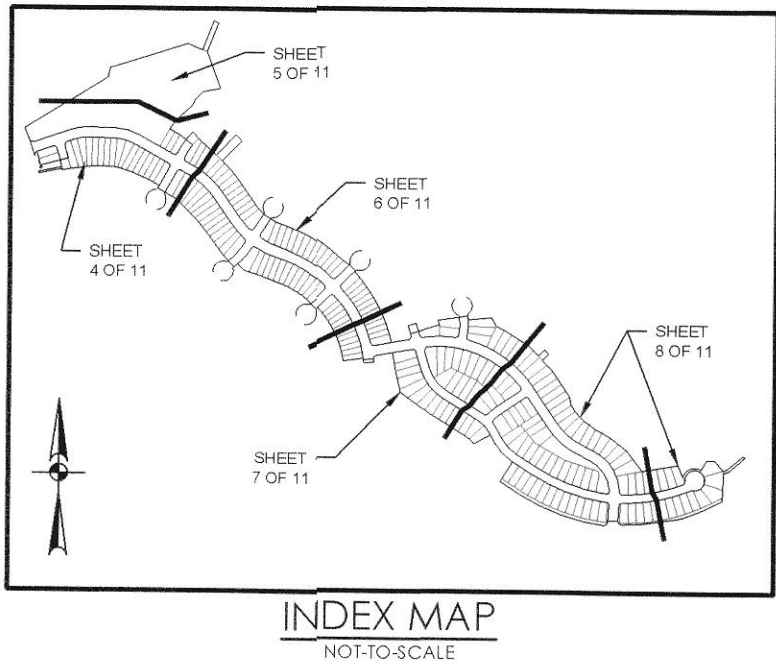
5. ROOF OVERHANGS ARE ALLOWED WITHIN THE FIVE (5) AND TEN (10) FOOT WIDE ELECTRIC AND GAS EASEMENTS WHEN ONLY UNDERGROUND ELECTRIC AND GAS FACILITIES ARE PROPOSED OR EXISTING WITHIN THOSE FIVE (5) AND TEN (10) FOOT WIDE EASEMENTS.

SAWS IMPACT FEE:

WATER AND/OR WASTEWATER IMPACT FEES WERE NOT PAID AT THE TIME OF PLATTING FOR THIS PLAT. ALL IMPACT FEES MUST BE PAID PRIOR TO WATER METER SET AND/OR WASTEWATER SERVICE CONNECTION.

SAWS WASTEWATER EDU:

THE NUMBER OF WASTEWATER EQUIVALENT DWELLING UNITS (EDU'S) PAID FOR THIS SUBDIVISION PLAT ARE KEPT ON FILE UNDER THE PLAT NUMBER AT THE SAN ANTONIO WATER SYSTEM.

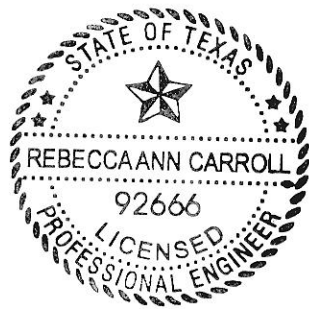


CURVE TABLE					
CURVE #	RADIUS	DELTA	CHORD BEARING	CHORD	LENGTH
C1	325.00'	11°02'08"	S44°24'11"W	62.50'	62.60'
C2	15.00'	57°46'09"	N3°48'04"E	14.49'	15.12'
C3	60.00'	295°32'17"	N57°18'52"W	64.00'	309.49'
C4	15.00'	57°46'09"	S61°34'12"W	14.49'	15.12'
C5	15.00'	57°46'09"	N17°03'53"E	14.49'	15.12'
C6	60.00'	295°32'17"	N44°03'03"W	64.00'	309.49'
C7	15.00'	57°46'09"	S74°50'02"W	14.49'	15.12'
C8	1030.00'	1°50'36"	S80°14'53"W	33.14'	33.14'
C9	1075.00'	0°55'05"	N17°17'21"W	17.22'	17.22'
C10	1125.00'	0°55'05"	N17°17'21"W	18.02'	18.02'
C11	15.00'	57°46'09"	N37°40'17"W	14.49'	15.12'
C12	60.00'	295°32'17"	S81°12'47"W	64.00'	309.49'
C13	15.00'	57°46'09"	S20°05'51"W	14.49'	15.12'
C14	325.00'	3°55'40"	N6°49'23"W	22.28'	22.28'
C15	74.00'	105°17'10"	S68°23'04"W	117.64'	135.98'
C16	1165.00'	12°33'26"	N66°13'44"E	254.82'	255.33'
C17	237.00'	9°48'26"	N77°24'41"E	40.52'	40.57'
C18	263.00'	3°26'46"	S80°35'31"W	15.82'	15.82'
C19	1154.00'	12°05'46"	N84°55'01"E	243.18'	243.63'
C20	20.00'	92°31'38"	S42°46'17"E	28.90'	32.30'
C21	20.00'	92°30'10"	N49°44'36"E	28.90'	32.29'
C22	1165.00'	26°36'22"	S70°42'08"E	536.14'	540.98'
C23	275.00'	28°18'00"	S43°14'57"E	134.45'	135.83'
C24	15.00'	86°32'13"	S36°03'29"W	20.56'	22.66'
C25	730.00'	1°38'13"	N6°23'32"W	20.86'	20.86'
C26	670.00'	1°38'13"	N6°23'32"W	19.14'	19.14'
C27	670.00'	0°46'32"	N7°35'54"W	9.07'	9.07'
C28	15.00'	57°46'09"	S17°01'13"W	14.49'	15.12'
C29	60.00'	295°32'17"	S44°05'43"E	64.00'	309.49'
C30	15.00'	57°46'09"	N74°47'21"E	14.49'	15.12'
C31	15.00'	57°46'09"	S18°40'50"W	14.49'	15.12'
C32	60.00'	295°32'17"	S42°26'06"E	64.00'	309.49'
C33	15.00'	57°46'09"	N76°26'59"E	14.49'	15.12'
C34	15.00'	57°46'09"	S0°48'32"W	14.49'	15.12'
C35	60.00'	295°32'17"	S60°18'24"E	64.00'	309.49'
C36	15.00'	57°46'09"	N58°34'40"E	14.49'	15.12'
C37	875.00'	0°34'52"	N11°19'36"W	8.88'	8.88'
C38	1175.00'	0°29'15"	S11°17'13"E	10.00'	10.00'
C39	875.00'	2°39'03"	N13°35'50"W	40.48'	40.48'
C40	1175.00'	0°22'11"	N14°18'27"W	7.58'	7.58'
C41	20.00'	87°33'56"	S27°36'26"W	27.68'	30.57'
C42	1175.00'	8°35'26"	N20°28'14"W	176.01'	176.17'
C43	330.00'	20°53'35"	S81°50'12"W	119.67'	120.34'
C44	330.00'	26°33'20"	N74°26'20"W	151.58'	152.95'
C45	15.00'	90°00'00"	N73°50'20"E	21.21'	23.56'
C46	325.00'	10°02'47"	S33°51'43"W	56.91'	56.99'
C47	275.00'	10°02'47"	S33°51'43"W	48.16'	48.22'
C48	15.00'	90°00'00"	S16°09'40"E	21.21'	23.56'
C49	530.00'	25°51'00"	N48°14'11"W	237.10'	239.12'
C50	370.00'	13°11'31"	S41°54'26"E	85.00'	85.19'
C51	15.00'	96°28'11"	N83°15'43"E	22.38'	25.26'
C52	275.00'	2°20'30"	N33°51'23"E	11.24'	11.24'
C53	325.00'	2°20'30"	N33°51'23"E	13.28'	13.28'
C54	15.00'	96°28'11"	S13°12'28"E	22.38'	25.26'
C55	370.00'	8°29'43"	S65°41'24"E	54.81'	54.86'
C56	730.00'	25°37'59"	N57°07'16"W	323.87'	326.59'
C57	15.00'	89°47'27"	S89°12'00"E	21.17'	23.51'
C58	5025.00'	0°02'40"	S45°55'37"W	3.91'	3.91'
C59	4975.00'	0°02'40"	S45°55'37"W	3.87'	3.87'
C60	15.00'	89°44'22"	S1°02'06"W	21.16'	23.49'
C61	730.00'	29°41'54"	N28°59'08"W	374.16'	378.38'
C62	15.00'	86°32'13"	S57°24'18"E	20.56'	22.66'

CURVE TABLE					
CURVE #	RADIUS	DELTA	CHORD BEARING	CHORD	LENGTH
C63	15.00'	81°43'25"	S57°41'31"E	19.63'	21.40'
C64	680.00'	16°40'29"	S89°47'01"W	197.20'	197.90'
C65	15.00'	86°42'02"	N54°46'14"E	20.59'	22.70'
C66	275.00'	201°2'27"	N1°19'00"E	96.49'	96.99'
C67	325.00'	16°16'47"	N3°16'50"E	92.03'	92.34'
C68	15.00'	86°42'02"	S31°55'48"E	20.59'	22.70'
C69	680.00'	41°04'52"	N54°45'40"W	477.18'	487.56'
C70	370.00'	29°18'45"	S48°52'36"E	187.23'	189.29'
C71	280.00'	61°45'04"	N32°39'26"W	287.38'	301.77'
C72	15.00'	89°36'08"	S46°34'58"E	21.14'	23.46'
C73	975.00'	19°37'23"	N78°48'16"E	332.30'	333.93'
C74	15.00'	76°40'50"	N30°39'10"E	18.61'	20.07'
C75	60.00'	290°34'32"	N42°23'59"W	68.33'	304.29'
C76	15.00'	35°36'43"	S85°04'55"W	9.17'	9.32'
C77	1025.00'	21°20'24"	N77°56'46"E	379.56'	381.76'
C78	15.00'	85°07'26"	S46°03'15"W	20.29'	22.29'
C79	15.00'	85°07'26"	N39°04'12"W	20.29'	22.29'
C80	1025.00'	24°13'58"	S69°30'56"E	430.29'	433.52'
C81	225.00'	29°22'51"	N43°47'22"W	114.12'	115.38'
C82	275.00'	41°39'00"	S37°39'18"E	195.53'	199.91'
C83	15.00'	82°00'00"	N57°49'48"W	19.68'	21.47'
C84	970.00'	1°50'36"	S80°14'53"W	31.21'	31.21'
C85	670.00'	36°35'18"	N25°30'17"W	420.62'	427.85'
C86	15.00'	90°17'47"	N88°56'50"W	21.27'	23.64'
C87	15.00'	90°14'17"	N0°47'08"E	21.26'	23.62'
C88	670.00'	25°36'15"	N57°08'08"W	296.92'	299.41'
C89	430.00'	9°48'27"	S65°02'02"E	73.52'	73.61'
C90	15.00'	84°50'34"	S77°26'55"W	20.24'	22.21'
C91	325.00'	12°32'17"	N41°17'46"E	70.98'	71.12'
C92	275.00'	12°32'17"	N41°17'46"E	60.06'	60.18'
C93	15.00'	84°50'34"	N7°23'40"W	20.24'	22.21'
C94	430.00'	14°30'16"	S42°33'49"E	108.56'	108.85'
C95	470.00'	25°51'00"	N48°14'11"W	210.25'	212.05'
C96	15.00'	90°00'00"	S73°50'20"W	21.21'	23.56'
C97	1025.00'	0°51'16"	N29°15'58"E	15.29'	15.29'
C98	975.00'	0°51'16"	N29°15'58"E	14.54'	14.54'
C99	15.00'	90°00'00"	N16°09'40"W	21.21'	23.56'
C100	270.00'	26°33'20"	N74°26'20"W	124.02'	125.14'
C101	270.00'	20°53'35"	S81°50'12"W	97.91'	98.46'
C102	20.00'	90°00'00"	S26°23'24"W	28.28'	31.42'
C103	925.00'	3°41'14"	N16°45'59"W	59.52'	59.53'
C104	875.00'	3°41'14"	N16°45'59"W	56.30'	56.31'
C105	15.00'	90°00'00"	N63°36'36"W	21.21'	23.56'
C106	20.00'	87°38'18"	S64°47'26"E	27.70'	30.59'
C107	225.00'	41°39'00"	S37°39'18"E	159.98'	163.56'
C108	275.00'	4°45'38"	N56°05'59"W	22.84'	22.85'
C109	15.00'	82°04'19"	N85°14'41"E	19.70'	21.49'
C110	225.00'	11°34'15"	S49°59'39"W	45.36'	45.44'
C111	15.00'	93°47'27"	N8°53'03"E	21.90'	24.55'
C112	620.00'	58°49'07"	N67°25'15"W	608.90'	636.48'
C113	430.00'	29°18'45"	S48°52'36"E	217.60'	219.99'
C114	15.00'	90°00'00"	N79°13'14"W	21.21'	23.56'
C115	175.00'	11°34'15"	S49°59'39"W	35.28'	35.34'
C116	15.00'	82°04'19"	S3°10'22"W	19.70'	21.49'
C117	275.00'	8°45'51"	N33°28'52"W	42.02'	42.06'
C118	225.00'	28°18'00"	S43°14'57"E	110.01'	111.13'
C119	975.00'	24°13'58"	S69°30'56"E	409.30'	412.37'
C120	15.00'	102°33'03"	N47°05'34"E	23.40'	26.85'
C121	220.00'	59°21'01"	N33°51'28"W	217.84'	227.89'
C122	344.00'	20°53'35"	S81°50'12"W	124.75'	125.44'
C123	344.00'	26°33'20"	N74°26'20"W	158.01'	159.44'
C124	1145.00'	27°06'25"	S70°57'09"E	536.67'	541.70'

PLAT NOTES APPLY TO EVERY PAGE
OF THIS MULTIPLE PAGE PLATSEE SHEET 2 & 3 FOR LINE AND
CURVE TABLES

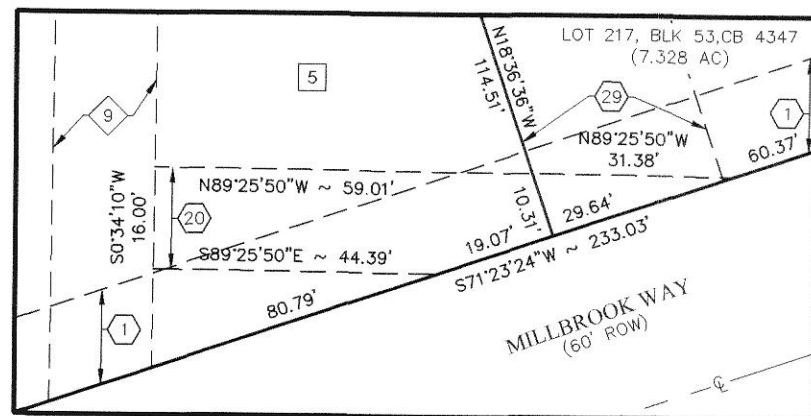
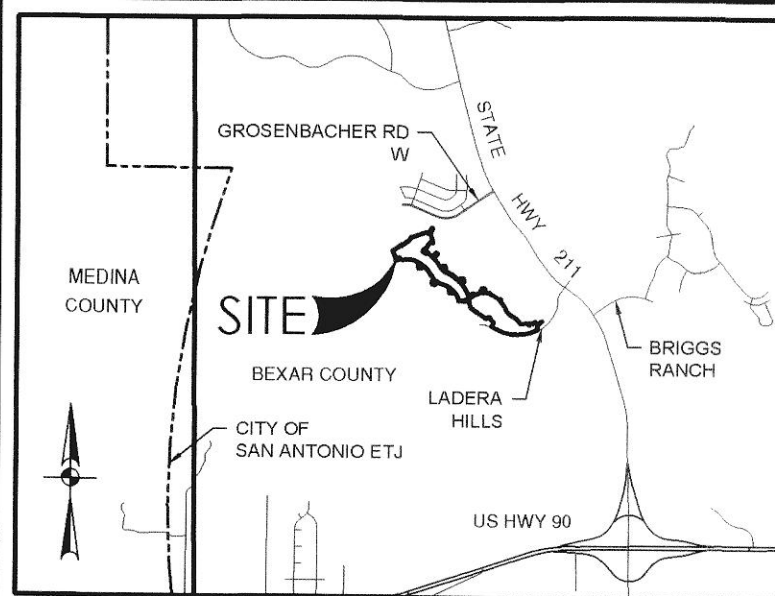
SHEET 3 OF 11

STATE OF TEXAS
COUNTY OF BEXAR

I HEREBY CERTIFY THAT PROPER ENGINEERING CONSIDERATION HAS BEEN GIVEN
THIS PLAT TO THE MATTERS OF STREETS, LOTS AND DRAINAGE LAYOUT. TO THE
BEST OF MY KNOWLEDGE THIS PLAT CONFORMS TO ALL REQUIREMENTS OF THE
UNIFIED DEVELOPMENT CODE, EXCEPT FOR THOSE VARIANCES GRANTED BY THE
SAN ANTONIO PLANNING COMMISSION.

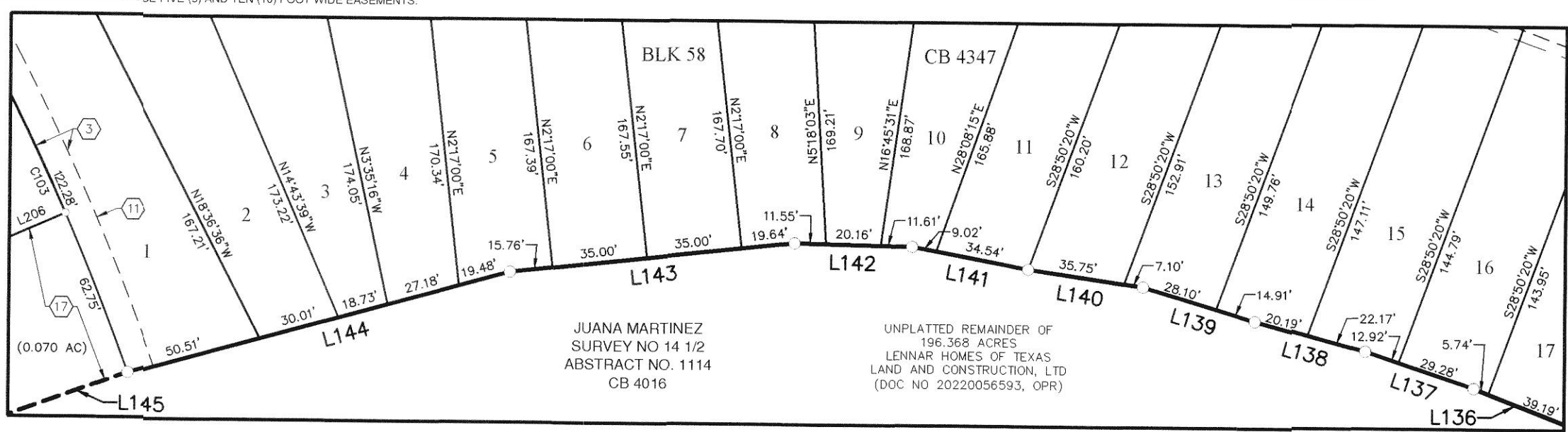
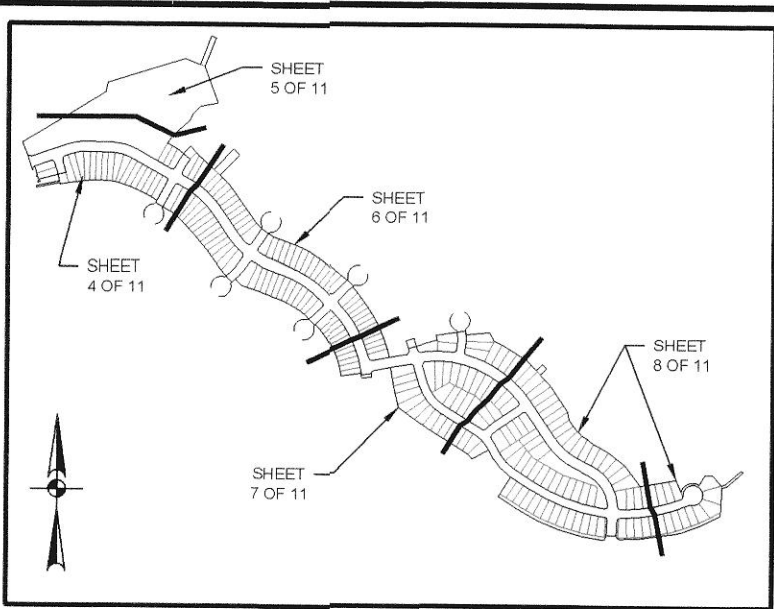
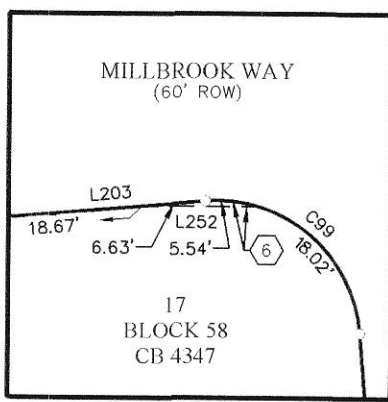
STATE OF TEXAS
COUNTY OF BEXAR

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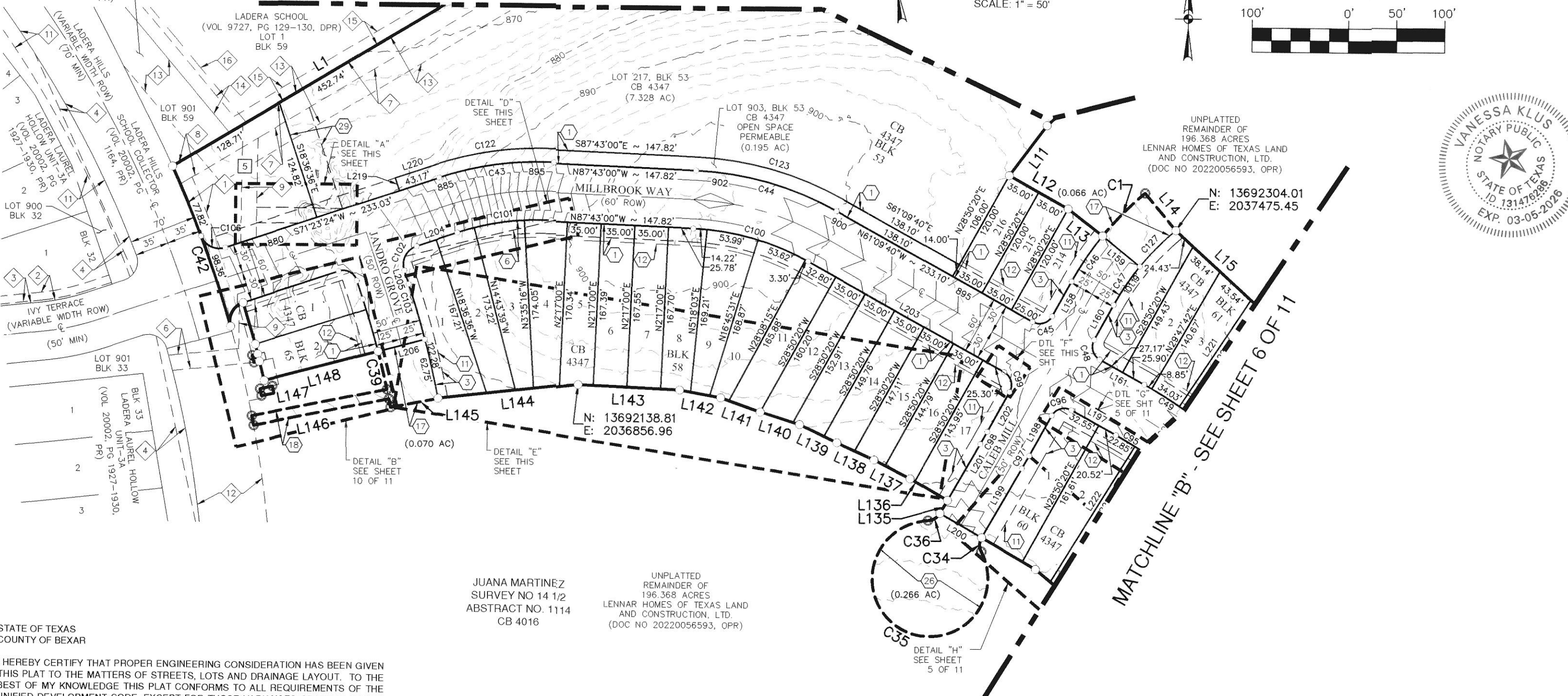
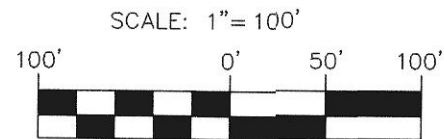
CPS/SAWS/COSA UTILITY:
1. THE CITY OF SAN ANTONIO AS PART OF ITS ELECTRIC, GAS, WATER, AND WASTEWATER SYSTEMS - CITY PUBLIC SERVICE BOARD (CPS ENERGY) AND SAN ANTONIO WATER SYSTEM (SAWS) - IS HEREBY DEDICATING EASEMENTS AND RIGHTS-OF-WAY FOR UTILITY, TRANSMISSION AND DISTRIBUTION INFRASTRUCTURE AND SERVICE FACILITIES IN THE AREAS DESIGNATED ON THIS PLAT AS "ELECTRIC EASEMENT," "ANCHOR EASEMENT," "SERVICE EASEMENT," "OVERHANG EASEMENT," "UTILITY EASEMENT," "GAS EASEMENT," "TRANSFORMER EASEMENT," "WATER EASEMENT," "SANITARY SEWER EASEMENT" AND/OR "RECYCLED WATER EASEMENT" FOR THE PURPOSE OF INSTALLING, CONSTRUCTING, RECONSTRUCTING, MAINTAINING, REMOVING, INSPECTING, PATROLLING, AND ERECTING UTILITY INFRASTRUCTURE AND SERVICE FACILITIES FOR THE REASONS DESCRIBED ABOVE. CPS ENERGY AND SAWS SHALL ALSO HAVE THE RIGHT TO RELOCATE SAID INFRASTRUCTURE AND SERVICE FACILITIES WITHIN EASEMENT AND RIGHT-OF-WAY AREAS, TOGETHER WITH THE RIGHT OF INGRESS AND EGRESS OVER GRANTORS ADJACENT LANDS FOR THE PURPOSE OF ACCESSING SUCH INFRASTRUCTURE AND SERVICE FACILITIES AND THE RIGHT TO REMOVE FROM SAID LANDS ALL TREES OR PARTS THEREOF, OR OTHER OBSTRUCTIONS WHICH ENDANGER OR MAY INTERFERE WITH THE EFFICIENCY OF WATER, SEWER, GAS, AND/OR ELECTRIC INFRASTRUCTURE AND SERVICE FACILITIES. NO BUILDING, STRUCTURE, CONCRETE SLABS, OR WALLS WILL BE PLACED WITHIN EASEMENT AREAS WITHOUT AN ENCROACHMENT AGREEMENT WITH THE RESPECTIVE UTILITY.
2. ANY CPS ENERGY OR SAWS INFRASTRUCTURE AND SERVICE FACILITIES LOCATED WITHIN SAID EASEMENTS, DUE TO GRADE CHANGES OR GROUND ELEVATION ALTERATIONS SHALL BE CHARGED TO THE PERSON OR PERSONS DEEMED RESPONSIBLE FOR SAID GRADE CHANGES OR GROUND ELEVATION ALTERATIONS.
3. THIS PLAT DOES NOT AMEND, ALTER, RELEASE OR OTHERWISE AFFECT ANY EXISTING ELECTRIC, GAS, WATER, SEWER, DRAINAGE, TELEPHONE, CABLE TV EASEMENTS OR ANY OTHER EASEMENTS FOR UTILITIES UNLESS THE CHANGES TO SUCH EASEMENTS ARE DESCRIBED HEREON.
4. CONCRETE DRIVEWAY APPROACHES ARE ALLOWED WITHIN THE FIVE (5) AND TEN (10) FOOT WIDE ELECTRIC AND GAS EASEMENTS WHEN LOTS ARE SERVED ONLY BY UNDERGROUND ELECTRIC AND GAS FACILITIES.
5. ROOF OVERHANGS ARE ALLOWED WITHIN THE FIVE (5) AND TEN (10) FOOT WIDE ELECTRIC AND GAS EASEMENTS WHEN ONLY UNDERGROUND ELECTRIC AND GAS FACILITIES ARE PROPOSED OR EXISTING WITHIN THOSE FIVE (5) AND TEN (10) FOOT WIDE EASEMENTS.

SAWS IMPACT FEE:
WATER AND/OR WASTEWATER IMPACT FEES WERE NOT PAID AT THE TIME OF PLATTING FOR THIS PLAT. ALL IMPACT FEES MUST BE PAID PRIOR TO WATER METER SET AND/OR WASTEWATER SERVICE CONNECTION.
SAWS WASTEWATER EDU:
THE NUMBER OF WASTEWATER EQUIVALENT DWELLING UNITS (EDU'S) PAID FOR THIS SUBDIVISION PLAT ARE KEPT ON FILE UNDER THE PLAT NUMBER AT THE SAN ANTONIO WATER SYSTEM.

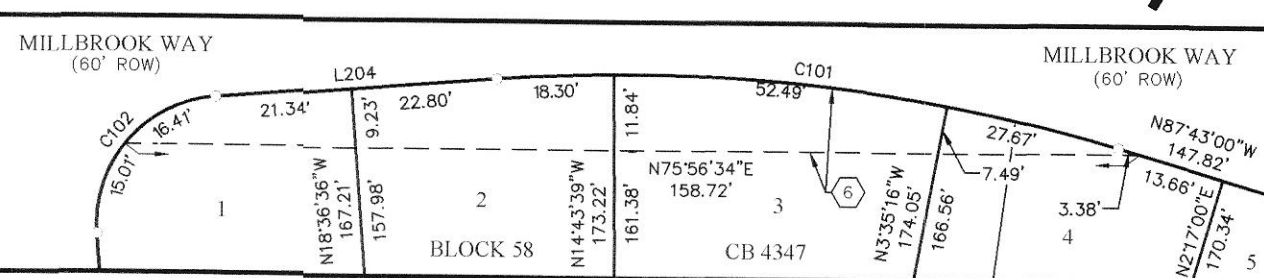


MATCHLINE "A" - SEE SHEET 5 OF 11

DETAIL "E" SEE THIS SHEET SCALE: 1" = 50'



MATCHLINE "B" - SEE SHEET 6 OF 11



DETAIL "D" SEE THIS SHEET SCALE: 1" = 20'

STATE OF TEXAS
COUNTY OF BEXAR

I HEREBY CERTIFY THAT PROPER ENGINEERING CONSIDERATION HAS BEEN GIVEN THIS PLAT TO THE MATTERS OF STREETS, LOTS AND DRAINAGE LAYOUT. TO THE BEST OF MY KNOWLEDGE THIS PLAT CONFORMS TO ALL REQUIREMENTS OF THE UNIFIED DEVELOPMENT CODE, EXCEPT FOR THOSE VARIANCES GRANTED BY THE SAN ANTONIO PLANNING COMMISSION.

STATE OF TEXAS
COUNTY OF BEXAR

I HEREBY CERTIFY THAT THE ABOVE PLAT CONFORMS TO THE MINIMUM STANDARDS SET FORTH BY THE TEXAS BOARD OF PROFESSIONAL ENGINEERS AND LAND SURVEYING ACCORDING TO AN ACTUAL SURVEY MADE ON THE GROUND BY: PAPE-DAWSON ENGINEERS, INC.

REBECCA ANN CARROLL
92666
LICENSED PROFESSIONAL ENGINEER

STATE OF TEXAS
COUNTY OF BEXAR

I HEREBY CERTIFY THAT THE ABOVE PLAT CONFORMS TO THE MINIMUM STANDARDS SET FORTH BY THE TEXAS BOARD OF PROFESSIONAL ENGINEERS AND LAND SURVEYING ACCORDING TO AN ACTUAL SURVEY MADE ON THE GROUND BY: PAPE-DAWSON ENGINEERS, INC.

PLAT NOTES APPLY TO EVERY PAGE OF THIS MULTIPLE PAGE PLAT

SEE SHEET 2 & 3 FOR LINE AND CURVE TABLES

SHEET 4 OF 11

PLAT NUMBER
21-11800671

REPLAT AND SUBDIVISION PLAT
ESTABLISHING
MILLBROOK-UNIT 1A

BEING A TOTAL OF 51.957 ACRE TRACT OF LAND, OUT OF THAT 196.368 ACRE TRACT OF LAND RECORDED IN DOCUMENT NUMBER 20220056593, OF THE OFFICIAL PUBLIC RECORDS OF BEXAR COUNTY, TEXAS, OUT OF THE JUANA MARTINEZ SURVEY NUMBER 14 1/2, ABSTRACT NUMBER 1114, COUNTY BLOCK 4016, BEXAR, TEXAS, ESTABLISHING LOT 1-49, 214-217 AND 901-903, BLOCK 53, LOT 1-17, BLOCK 58, LOT 1-15, BLOCK 60, LOT 1-15, BLOCK 61, LOT 1-14, BLOCK 63, LOT 1-13, BLOCK 64, LOT 1-2, BLOCK 65, LOT 1-12, BLOCK 66, LOT 1-13, BLOCK 67, LOT 2-30 AND 901, BLOCK 69, LOT 1, 12, AND 13, BLOCK 70, LOT 1-20, BLOCK 72, LOT 1-21, AND 901, BLOCK 73, COUNTY BLOCK 4347, BEXAR COUNTY, TEXAS.

PAPE-DAWSON ENGINEERS

SAN ANTONIO | AUSTIN | HOUSTON | FORT WORTH | DALLAS
2000 NW LOOP 410 | SAN ANTONIO, TX 78213 | 210.375.9000
TEXAS ENGINEERING FIRM #470 | TEXAS SURVEYING FIRM #10028800

DATE OF PREPARATION: March 15, 2023

STATE OF TEXAS
COUNTY OF BEXAR

THE OWNER OF LAND SHOWN ON THIS PLAT, IN PERSON OR THROUGH A DULY AUTHORIZED AGENT, DEDICATES TO THE USE OF THE PUBLIC, EXCEPT AREAS IDENTIFIED AS PRIVATE OR PART OF AN ENCLAVE OR PLANNED UNIT DEVELOPMENT, FOREVER ALL STREETS, ALLEYS, PARKS, WATERCOURSES, DRAINS, EASEMENTS AND PUBLIC PLACES THEREON SHOWN FOR THE PURPOSE AND CONSIDERATION THEREIN EXPRESSED.

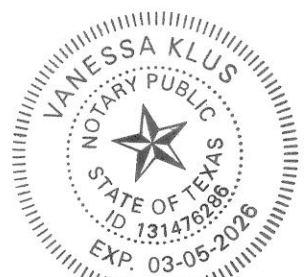
LENNAR HOMES OF TEXAS LAND AND CONSTRUCTION, LTD., A TEXAS LIMITED PARTNERSHIP
100 N.E. LOOP 410, SUITE 1155
SAN ANTONIO, TX 78216
(210) 403-6200

BY: U.S. HOMES CORPORATION, A DELAWARE CORPORATION, ITS GENERAL PARTNER

BY: NAME: RICHARD MOTT
TITLE: AUTHORIZED AGENT

STATE OF TEXAS
COUNTY OF BEXAR

BEFORE ME, THE UNDERSIGNED AUTHORITY ON THIS DAY PERSONALLY APPEARED RICHARD MOTT KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN EXPRESSED AND IN THE CAPACITY THEREIN STATED. (GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS DAY OF March, A.D. 2023)



NOTARY PUBLIC, BEXAR COUNTY, TEXAS

CERTIFICATE OF APPROVAL

THE UNDERSIGNED, COUNTY JUDGE OF BEXAR COUNTY, TEXAS AND PRESIDING OFFICER OF THE COMMISSIONERS COURT OF BEXAR COUNTY, DOES HEREBY CERTIFY THAT THE ATTACHED PLAT WAS DULY FILED WITH THE COMMISSIONERS COURT OF BEXAR COUNTY, TEXAS AND THAT AFTER EXAMINATION IT APPEARED THAT SAID PLAT IS IN CONFORMITY WITH THE STATUTES, RULES AND REGULATIONS GOVERNING SAME, AND THIS PLAT WAS APPROVED BY THE SAID COMMISSIONERS COURT.

DATED THIS DAY OF A.D. 20

COUNTY JUDGE, BEXAR COUNTY, TEXAS

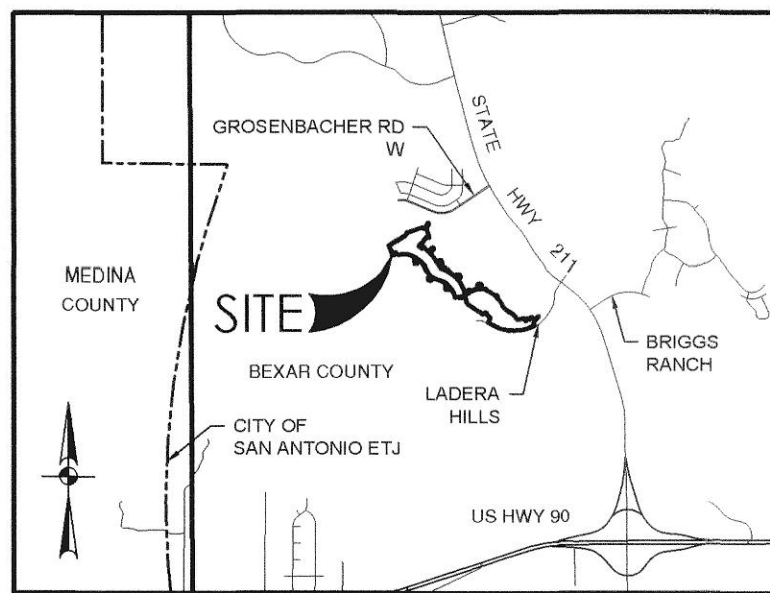
COUNTY CLERK, BEXAR COUNTY, TEXAS

THIS PLAT OF MILLBROOK-UNIT 1A HAS BEEN SUBMITTED TO AND CONSIDERED BY THE PLANNING COMMISSION OF THE CITY OF SAN ANTONIO, TEXAS, IS HEREBY APPROVED BY SUCH COMMISSION IN ACCORDANCE WITH STATE OR LOCAL LAWS AND REGULATIONS, AND/OR WHERE ADMINISTRATIVE EXCEPTION(S) AND/OR VARIANCE(S) HAVE BEEN GRANTED.

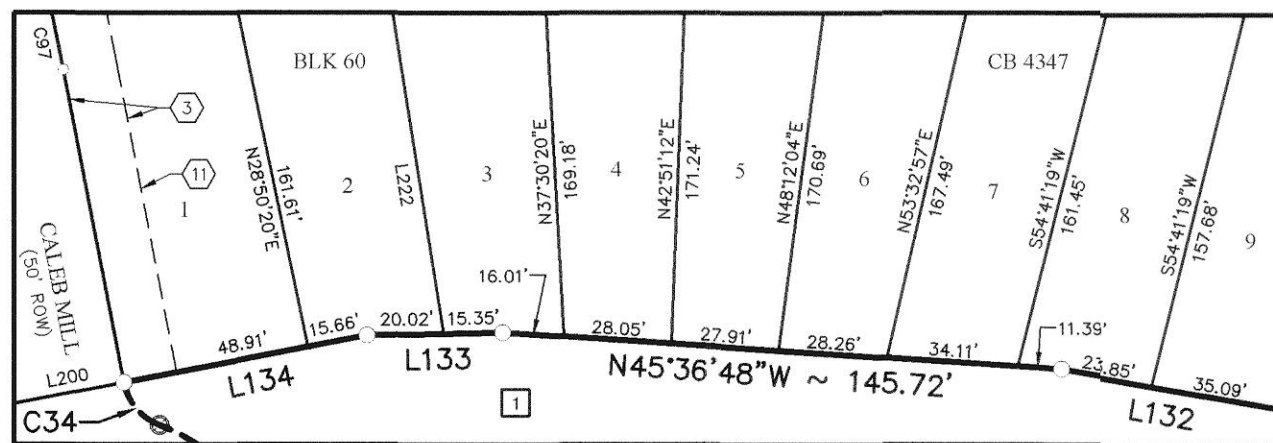
DATED THIS DAY OF A.D. 20

BY: CHAIRMAN

BY: SECRETARY



LOCATION MAP
NOT-TO-SCALE



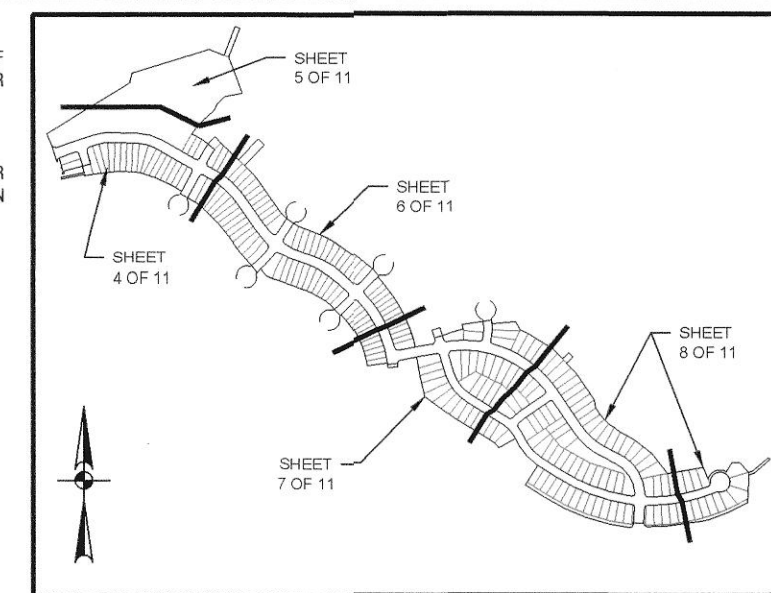
DETAIL "H"
SEE SHEET 4 & 6 OF 11
SCALE: 1" = 50'



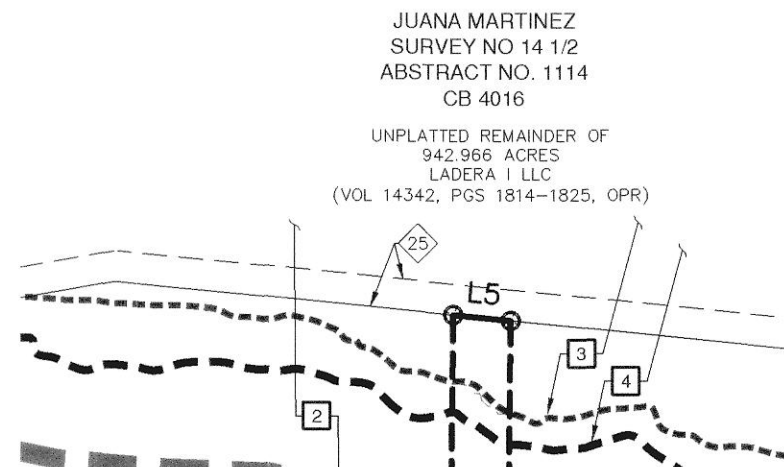
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2. ANY CPS ENERGY OR SAWS MONETARY LOSS RESULTING FROM MODIFICATIONS REQUIRED OF CPS ENERGY OR SAWS INFRASTRUCTURE AND SERVICE FACILITIES, LOCATED WITHIN SAID EASEMENTS, DUE TO GRADE CHANGES OR GROUND ELEVATION ALTERATIONS SHALL BE CHARGED TO THE PERSON OR PERSONS DEEMED RESPONSIBLE FOR SAID GRADE CHANGES OR GROUND ELEVATION ALTERATIONS.
3. THIS PLAT DOES NOT AMEND, ALTER, RELEASE OR OTHERWISE AFFECT ANY EXISTING ELECTRIC, GAS, WATER, SEWER, DRAINAGE, TELEPHONE, CABLE TV EASEMENTS OR ANY OTHER EASEMENTS FOR UTILITIES UNLESS THE CHANGES TO SUCH EASEMENTS ARE DESCRIBED HEREON.
4. CONCRETE DRIVEWAY APPROACHES ARE ALLOWED WITHIN THE FIVE (5) AND TEN (10) FOOT WIDE ELECTRIC AND GAS EASEMENTS WHEN LOTS ARE SERVED ONLY BY UNDERGROUND ELECTRIC AND GAS FACILITIES.
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SAWS IMPACT FEE:
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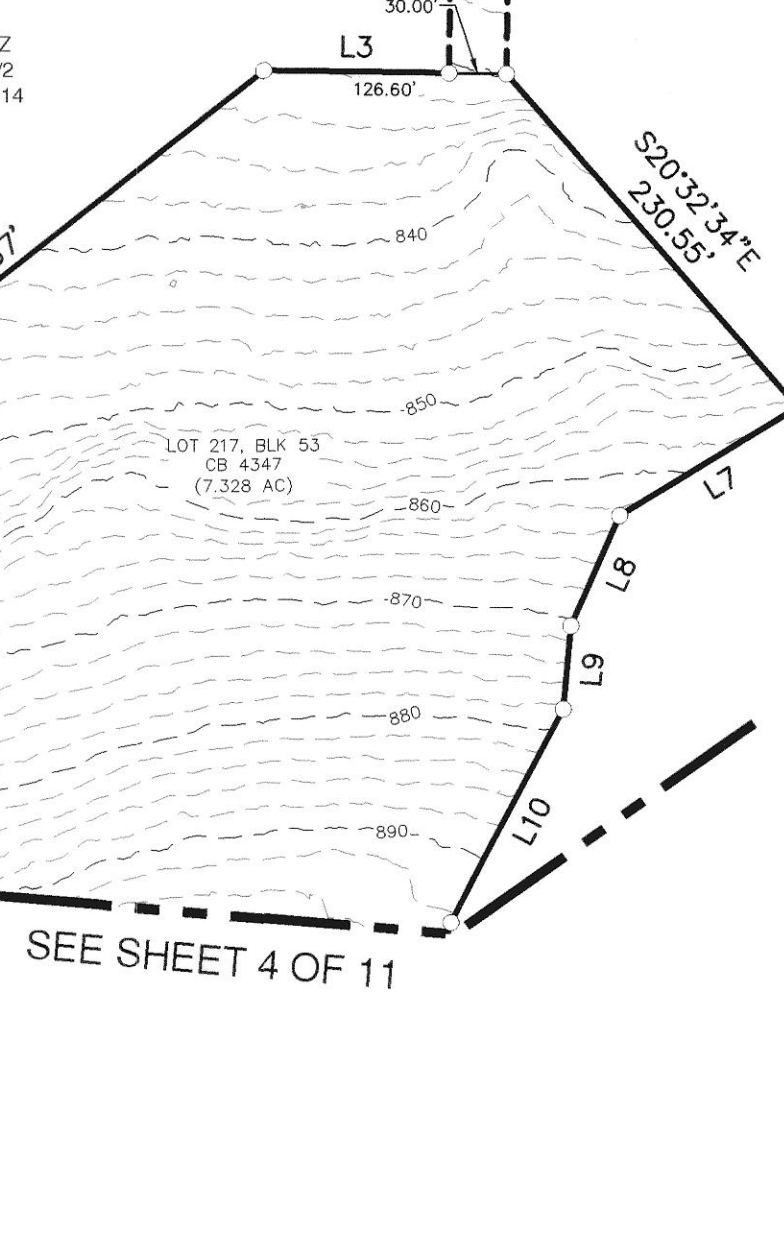
SAWS WASTEWATER EDU:
THE NUMBER OF WASTEWATER EQUIVALENT DWELLING UNITS (EDU'S) PAID FOR THIS SUBDIVISION PLAT ARE KEPT ON FILE UNDER THE PLAT NUMBER AT THE SAN ANTONIO WATER SYSTEM.



INDEX MAP
NOT-TO-SCALE

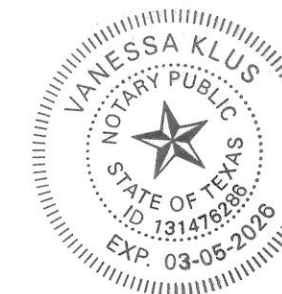


DETAIL "G"
SCALE: 1" = 20'
NOT-TO-SCALE



JUANA MARTINEZ
SURVEY NO 14 1/2
ABSTRACT NO. 1114
CB 4016

UNPLATTED
REMAINDER OF
196.368 ACRES
LENNAR HOMES OF TEXAS LAND
AND CONSTRUCTION, LTD.
(DOC NO 20220056593, OPR)



PLAT NUMBER
21-11800671

REPLAT AND SUBDIVISION PLAT
ESTABLISHING
MILLBROOK-UNIT 1A

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SAN ANTONIO | AUSTIN | HOUSTON | FORT WORTH | DALLAS
2000 NW LOOP 410 | SAN ANTONIO, TX 78213 | 210.375.9000
TEXAS ENGINEERING FIRM #470 | TEXAS SURVEYING FIRM #10028800

DATE OF PREPARATION: March 15, 2023

STATE OF TEXAS
COUNTY OF BEXAR

THE OWNER OF LAND SHOWN ON THIS PLAT, IN PERSON OR THROUGH A DULY AUTHORIZED AGENT, DEDICATES TO THE USE OF THE PUBLIC, EXCEPT AREAS IDENTIFIED AS PRIVATE OR PART OF AN ENCLAVE OR PLANNED UNIT DEVELOPMENT, FOREVER ALL STREETS, ALLEYS, PARKS, WATERCOURSES, DRAINS, EASEMENTS AND PUBLIC PLACES THEREON SHOWN FOR THE PURPOSE AND CONSIDERATION THEREIN EXPRESSED.

LENNAR HOMES OF TEXAS LAND AND CONSTRUCTION, LTD., A TEXAS LIMITED PARTNERSHIP
100 N.E. LOOP 410, SUITE 1155
SAN ANTONIO, TX 78216
(210) 403-6200

BY: U.S. HOMES CORPORATION, A DELAWARE CORPORATION, ITS GENERAL PARTNER

BY: NAME: RICHARD MOIT
TITLE: AUTHORIZED AGENT

STATE OF TEXAS
COUNTY OF BEXAR

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED RICHARD MOIT KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN EXPRESSED AND IN THE CAPACITY THEREIN STATED, GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS DAY OF March, A.D. 2023.

NOTARY PUBLIC, BEXAR COUNTY, TEXAS

CERTIFICATE OF APPROVAL

THE UNDERSIGNED, COUNTY JUDGE OF BEXAR COUNTY, TEXAS AND PRESIDING OFFICER OF THE COMMISSIONERS COURT OF BEXAR COUNTY, TEXAS, DOES HEREBY CERTIFY THAT THE ATTACHED PLAT WAS DULY FILED WITH THE COMMISSIONERS COURT OF BEXAR COUNTY, TEXAS AND THAT AFTER EXAMINATION IT APPEARED THAT SAID PLAT IS IN CONFORMITY WITH THE STATUTES, RULES AND REGULATIONS GOVERNING SAME, AND THIS PLAT WAS APPROVED BY THE SAID COMMISSIONERS COURT.

DATED THIS DAY OF A.D. 20

COUNTY JUDGE, BEXAR COUNTY, TEXAS

COUNTY CLERK, BEXAR COUNTY, TEXAS

THIS PLAT OF MILLBROOK-UNIT 1A HAS BEEN SUBMITTED TO AND CONSIDERED BY THE PLANNING COMMISSION OF THE CITY OF SAN ANTONIO, TEXAS, IS HEREBY APPROVED BY SUCH COMMISSION IN ACCORDANCE WITH STATE OR LOCAL LAWS AND REGULATIONS; AND/OR WHERE ADMINISTRATIVE EXCEPTION(S) AND/OR VARIANCE(S) HAVE BEEN GRANTED.

DATED THIS DAY OF A.D. 20

BY: CHAIRMAN

BY: SECRETARY

STATE OF TEXAS
COUNTY OF BEXAR

I HEREBY CERTIFY THAT PROPER ENGINEERING CONSIDERATION HAS BEEN GIVEN THIS PLAT TO THE MATTERS OF STREETS, LOTS AND DRAINAGE LAYOUT. TO THE BEST OF MY KNOWLEDGE THIS PLAT CONFORMS TO ALL REQUIREMENTS OF THE UNIFIED DEVELOPMENT CODE, EXCEPT FOR THOSE VARIANCES GRANTED BY THE SAN ANTONIO PLANNING COMMISSION.

STATE OF TEXAS
COUNTY OF BEXAR

I HEREBY CERTIFY THAT THE ABOVE PLAT CONFORMS TO THE MINIMUM STANDARDS SET FORTH BY THE TEXAS BOARD OF PROFESSIONAL ENGINEERS AND LAND SURVEYING ACCORDING TO AN ACTUAL SURVEY MADE ON THE GROUND BY: PAPE-DAWSON ENGINEERS, INC.

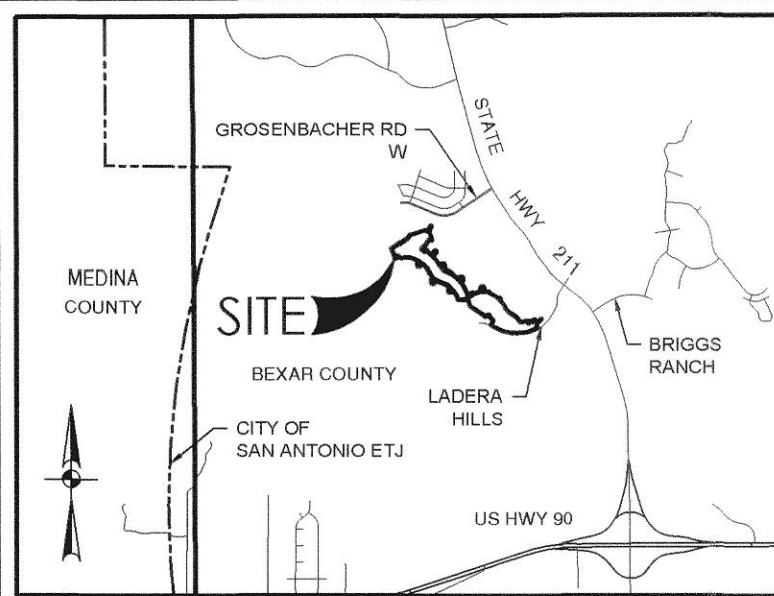
REGISTERED PROFESSIONAL LAND SURVEYOR

03/15/2023

PLAT NOTES APPLY TO EVERY PAGE
OF THIS MULTIPLE PAGE PLAT

SEE SHEET 2 & 3 FOR LINE AND
CURVE TABLES

SHEET 5 OF 11



LOCATION MAP
NOT-TO-SCALE

CPS/SAWS/COSA UTILITY:

1. THE CITY OF SAN ANTONIO AS PART OF ITS ELECTRIC, GAS, WATER, AND WASTEWATER SYSTEMS - CITY PUBLIC SERVICE BOARD (CPS ENERGY) AND SAN ANTONIO WATER SYSTEM (SAWS) - IS HEREBY DEDICATED EASEMENTS AND RIGHTS-OF-WAY FOR UTILITY, TRANSMISSION AND DISTRIBUTION INFRASTRUCTURE AND SERVICE FACILITIES IN THE AREAS DESIGNATED ON THIS PLAT AS "ELECTRIC EASEMENT," "ANCHOR EASEMENT," "SERVICE EASEMENT," "OVERHANG EASEMENT," "UTILITY EASEMENT," "GAS EASEMENT," "TRANSFORMER EASEMENT," "WATER EASEMENT," "SANITARY SEWER EASEMENT" AND/OR "RECYCLED WATER EASEMENT" FOR THE PURPOSE OF INSTALLING, CONSTRUCTING, RECONSTRUCTING, MAINTAINING, REMOVING, INSPECTING, PATROLLING, AND ERECTING UTILITY INFRASTRUCTURE AND SERVICE FACILITIES FOR THE REASONS DESCRIBED ABOVE. CPS ENERGY AND SAWS SHALL ALSO HAVE THE RIGHT TO RELOCATE SAID INFRASTRUCTURE AND SERVICE FACILITIES WITHIN EASEMENT AND RIGHT-OF-WAY AREAS, TOGETHER WITH THE RIGHT OF INGRESS AND EGRESS OVER GRANTOR'S ADJACENT LANDS FOR THE PURPOSE OF ACCESSING SUCH INFRASTRUCTURE AND SERVICE FACILITIES AND THE RIGHT TO REMOVE FROM SAID LANDS ALL TREES OR PARTS THEREOF, OR OTHER OBSTRUCTIONS WHICH ENDANGER OR MAY INTERFERE WITH THE EFFICIENCY OF WATER, SEWER, GAS, AND/OR ELECTRIC INFRASTRUCTURE AND SERVICE FACILITIES. NO BUILDING, STRUCTURE, CONCRETE SLABS, OR WALLS WILL BE PLACED WITHIN EASEMENT AREAS WITHOUT AN ENCROACHMENT AGREEMENT WITH THE RESPECTIVE UTILITY.

2. ANY CPS ENERGY OR SAWS MONETARY LOSS RESULTING FROM MODIFICATIONS REQUIRED OF CPS ENERGY OR SAWS INFRASTRUCTURE AND SERVICE FACILITIES, LOCATED WITHIN SAID EASEMENTS, DUE TO GRADE CHANGES OR GROUND ELEVATION ALTERATIONS SHALL BE CHARGED TO THE PERSON OR PERSONS DEEMED RESPONSIBLE FOR SAID GRADE CHANGES OR GROUND ELEVATION ALTERATIONS.

3. THIS PLAT DOES NOT AMEND, ALTER, RELEASE OR OTHERWISE AFFECT ANY EXISTING ELECTRIC, GAS, WATER, SEWER, DRAINAGE, TELEPHONE, CABLE TV EASEMENTS OR ANY OTHER EASEMENTS FOR UTILITIES UNLESS THE CHANGES TO SUCH EASEMENTS ARE DESCRIBED HEREON.

4. CONCRETE DRIVEWAY APPROACHES ARE ALLOWED WITHIN THE FIVE (5) AND TEN (10) FOOT WIDE ELECTRIC AND GAS EASEMENTS WHEN LOTS ARE SERVED ONLY BY UNDERGROUND ELECTRIC AND GAS FACILITIES.

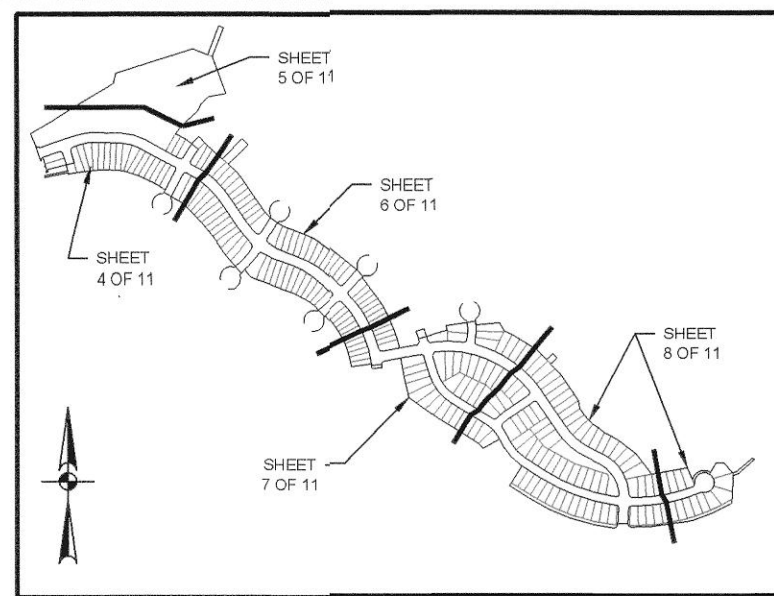
5. ROOF OVERHANGS ARE ALLOWED WITHIN THE FIVE (5) AND TEN (10) FOOT WIDE ELECTRIC AND GAS EASEMENTS WHEN ONLY UNDERGROUND ELECTRIC AND GAS FACILITIES ARE PROPOSED OR EXISTING WITHIN THOSE FIVE (5) AND TEN (10) FOOT WIDE EASEMENTS.

SAWS IMPACT FEE:

WATER AND/OR WASTEWATER IMPACT FEES WERE NOT PAID AT THE TIME OF PLATTING FOR THIS PLAT. ALL IMPACT FEES MUST BE PAID PRIOR TO WATER METER SET AND/OR WASTEWATER SERVICE CONNECTION.

SAWS WASTEWATER EDU:

THE NUMBER OF WASTEWATER EQUIVALENT DWELLING UNITS (EDU'S) PAID FOR THIS SUBDIVISION PLAT ARE KEPT ON FILE UNDER THE PLAT NUMBER AT THE SAN ANTONIO WATER SYSTEM.



INDEX MAP
NOT-TO-SCALE

PLAT NUMBER

21-11800671

REPLAT AND SUBDIVISION PLAT ESTABLISHING MILLBROOK-UNIT 1A

BEING A TOTAL OF 51.957 ACRE TRACT OF LAND, OUT OF THAT 196.368 ACRE TRACT OF LAND RECORDED IN DOCUMENT NUMBER 20220056593, OF THE OFFICIAL PUBLIC RECORDS OF BEXAR COUNTY, TEXAS, OUT OF THE JUANA MARTINEZ SURVEY NUMBER 14 1/2, ABSTRACT NUMBER 1114, COUNTY BLOCK 4016, BEXAR, TEXAS, ESTABLISHING LOT 1-49, 214-217 AND 901-903, BLOCK 53, LOT 1-17, BLOCK 58, LOT 1-15, BLOCK 60, LOT 1-15, BLOCK 61, LOT 1-14, BLOCK 63, LOT 1-13, BLOCK 64, LOT 1-2, BLOCK 65, LOT 1-12, BLOCK 66, LOT 1-13, BLOCK 67, LOT 2-30 AND 901, BLOCK 69, LOT 1, 12, AND 13, BLOCK 70, LOT 1-20, BLOCK 72, LOT 1-21, AND 901, BLOCK 73, COUNTY BLOCK 4347, BEXAR COUNTY, TEXAS.



SAN ANTONIO | AUSTIN | HOUSTON | FORT WORTH | DALLAS
2000 NW LOOP 410 | SAN ANTONIO, TX 78213 | 210.375.9000
TEXAS ENGINEERING FIRM #470 | TEXAS SURVEYING FIRM #10028800

DATE OF PREPARATION: March 15, 2023

STATE OF TEXAS
COUNTY OF BEXAR

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LENNAR HOMES OF TEXAS LAND AND CONSTRUCTION, LTD., A TEXAS LIMITED PARTNERSHIP
100 N.E. LOOP 410, SUITE 1155
SAN ANTONIO, TX 78216
(210) 403-6200

BY: U.S. HOMES CORPORATION, A DELAWARE CORPORATION, ITS GENERAL PARTNER

BY: NAME: RICHARD MOTT
TITLE: AUTHORIZED AGENT

STATE OF TEXAS
COUNTY OF BEXAR

BEFORE ME, THE UNDERSIGNED AUTHORITY ON THIS DAY PERSONALLY APPEARED RICHARD MOTT KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN EXPRESSED AND IN THE CAPACITY THEREIN STATED, GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS 20th DAY OF March, A.D. 2023.

NOTARY PUBLIC, BEXAR COUNTY, TEXAS

CERTIFICATE OF APPROVAL

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DATED THIS _____ DAY OF _____, A.D. 20 _____

COUNTY JUDGE, BEXAR COUNTY, TEXAS

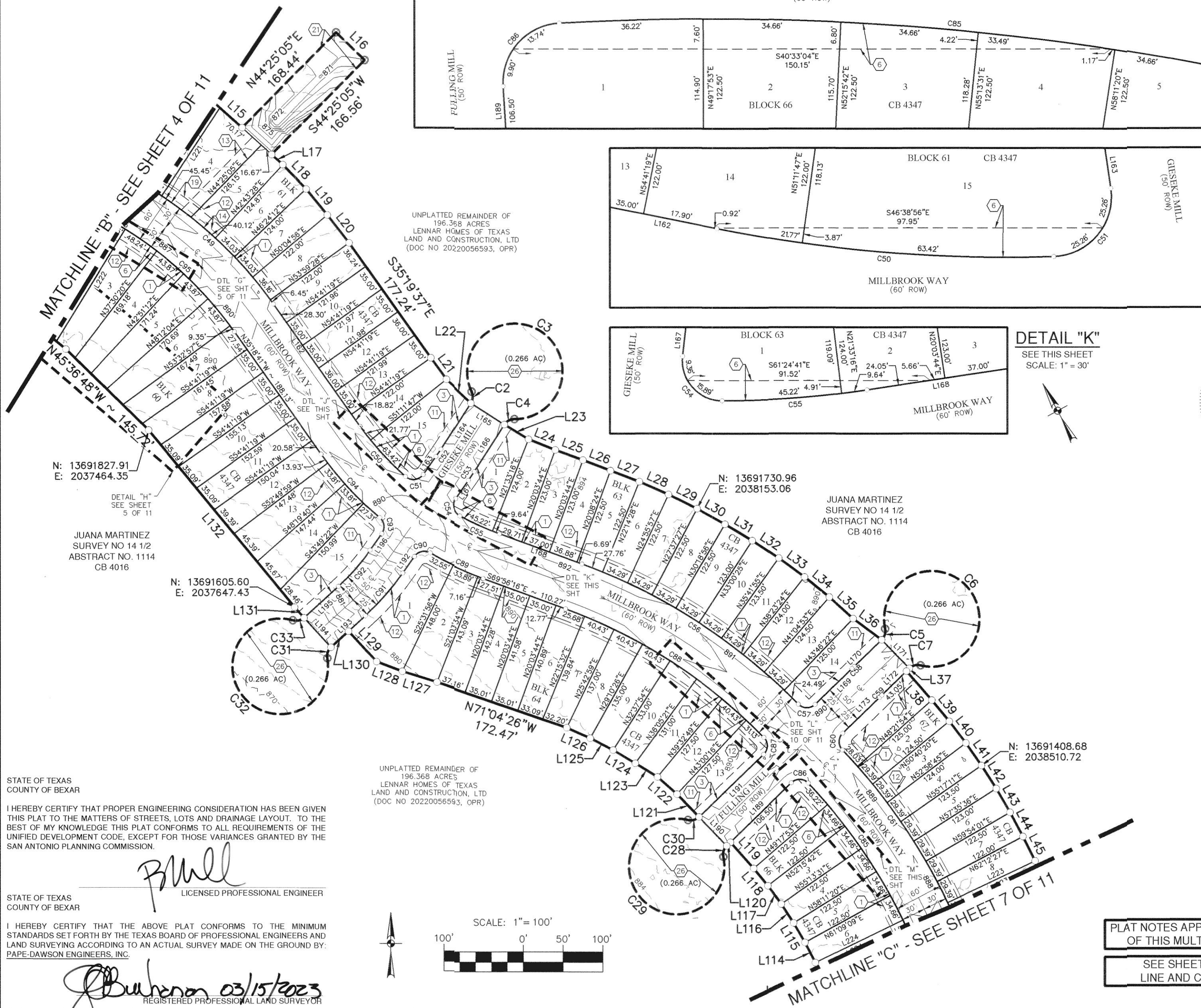
COUNTY CLERK, BEXAR COUNTY, TEXAS

THIS PLAT OF MILLBROOK-UNIT 1A HAS BEEN SUBMITTED TO AND CONSIDERED BY THE PLANNING COMMISSION OF THE CITY OF SAN ANTONIO, TEXAS, IS HEREBY APPROVED BY SUCH COMMISSION IN ACCORDANCE WITH STATE OR LOCAL LAWS AND REGULATIONS, AND/OR WHERE ADMINISTRATIVE EXCEPTION(S) AND/OR VARIANCE(S) HAVE BEEN GRANTED.

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BY: _____ CHAIRMAN

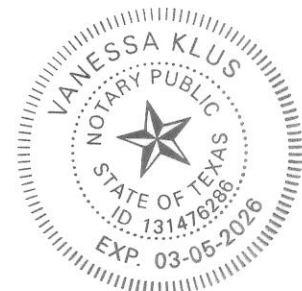
BY: _____ SECRETARY



DETAIL "M"
SEE THIS SHEET
SCALE: 1" = 20'

DETAIL "J"
SEE THIS SHEET
SCALE: 1" = 20'

DETAIL "K"
SEE THIS SHEET
SCALE: 1" = 30'



STATE OF TEXAS
COUNTY OF BEXAR

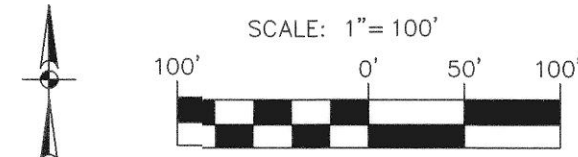
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REBECCA ANN CARROLL
92666
LICENSED PROFESSIONAL ENGINEER

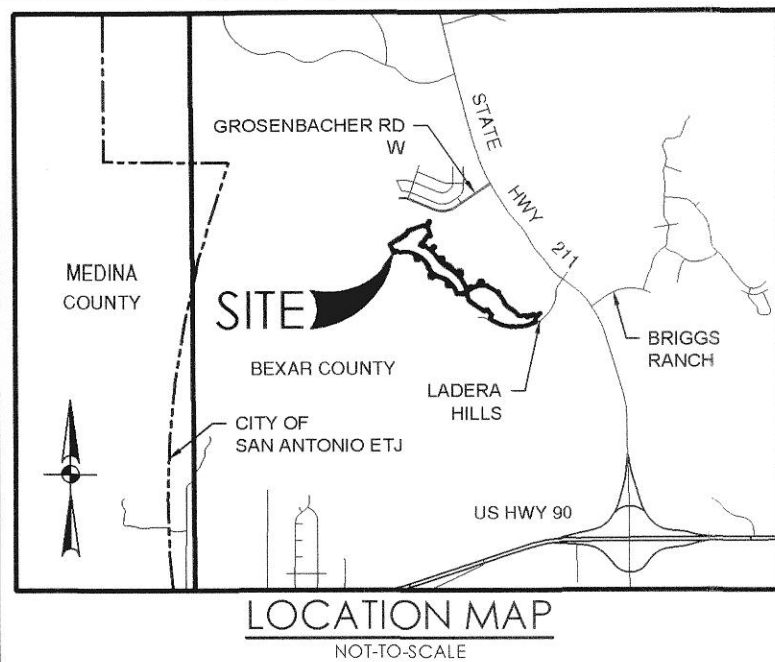
STATE OF TEXAS
COUNTY OF BEXAR
G E BUCHANAN
4999
REGISTERED PROFESSIONAL LAND SURVEYOR



PLAT NOTES APPLY TO EVERY PAGE
OF THIS MULTIPLE PAGE PLAT

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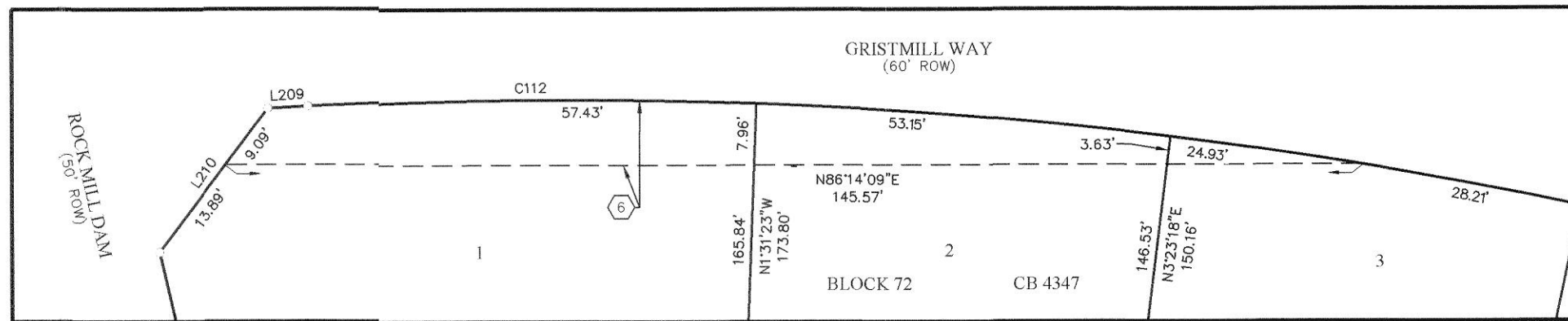
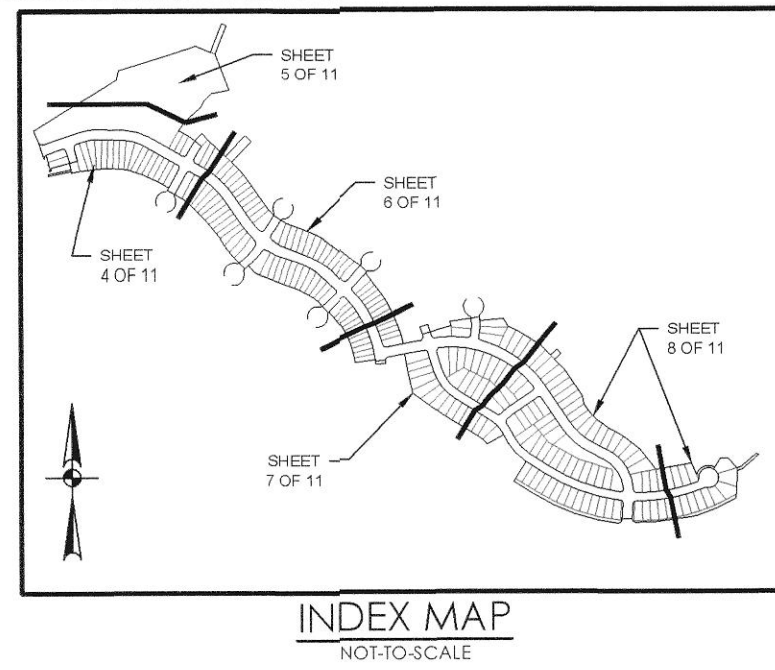
SHEET 6 OF 11



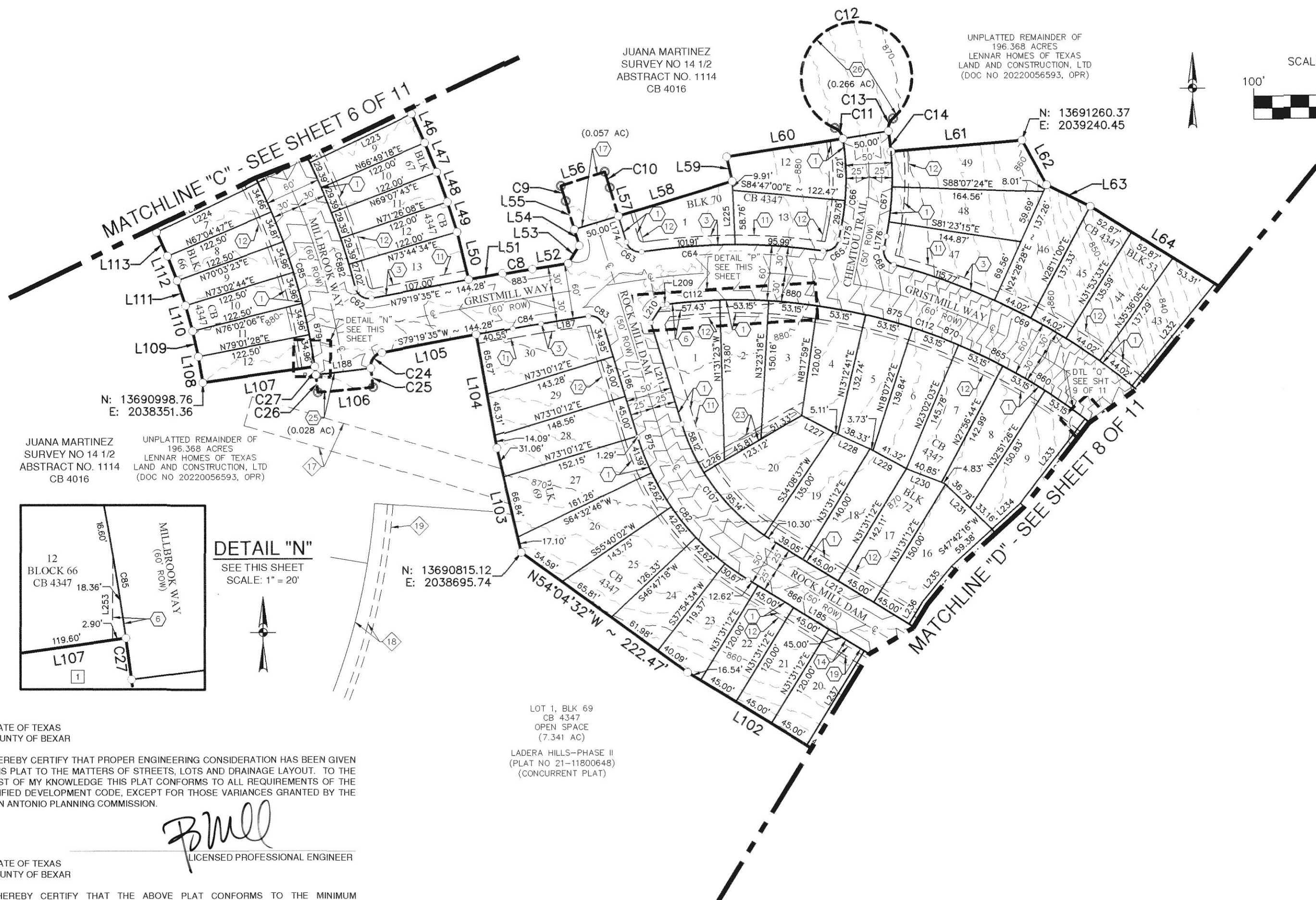
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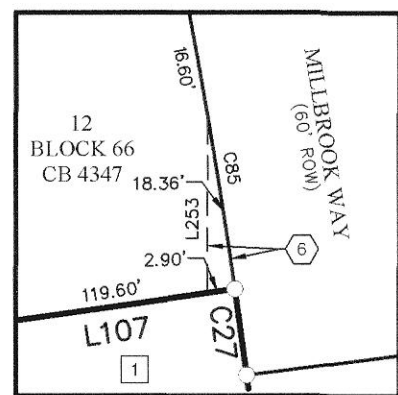
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DETAIL "P"
SEE THIS SHEET
SCALE: 1" = 20'



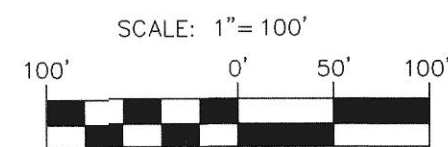
JUANA MARTINEZ SURVEY NO 14 1/2 ABSTRACT NO. 1114 CB 4016
UNPLATTED REMAINDER OF 196.368 ACRES
LENNAR HOMES OF TEXAS LAND AND CONSTRUCTION, LTD (DOC NO. 20220056593, OPR)



DETAIL "N"
SEE THIS SHEET
SCALE: 1" = 20'

N: 13690815.12
E: 2038695.74

LOT 1, BLK 69
CB 4347
OPEN SPACE
(7.341 AC)
LADERA HILLS-PHASE II
(PLAT NO 21-11800648)
(CONCURRENT PLAT)



PLAT NUMBER
21-11800671

REPLAT AND SUBDIVISION PLAT
ESTABLISHING
MILLBROOK-UNIT 1A

BEING A TOTAL OF 51.957 ACRE TRACT OF LAND, OUT OF THAT 196.368 ACRE TRACT OF LAND RECORDED IN DOCUMENT NUMBER 20220056593, OF THE OFFICIAL PUBLIC RECORDS OF BEXAR COUNTY, TEXAS, OUT OF THE JUANA MARTINEZ SURVEY NUMBER 14 1/2, ABSTRACT NUMBER 1114, COUNTY BLOCK 4016, BEXAR, TEXAS, ESTABLISHING LOT 1-49, 214-217 AND 901-903, BLOCK 53, LOT 1-17, BLOCK 58, LOT 1-15, BLOCK 60, LOT 1-15, BLOCK 61, LOT 1-14, BLOCK 63, LOT 1-13, BLOCK 64, LOT 1-2, BLOCK 65, LOT 1-12, BLOCK 66, LOT 1-13, BLOCK 67, LOT 2-30 AND 901, BLOCK 69, LOT 1, 12, AND 13, BLOCK 70, LOT 1-20, BLOCK 72, LOT 1-21, AND 901, BLOCK 73, COUNTY BLOCK 4347, BEXAR COUNTY, TEXAS.

PAPE-DAWSON ENGINEERS

SAN ANTONIO | AUSTIN | HOUSTON | FORT WORTH | DALLAS
2000 NW LOOP 410 | SAN ANTONIO, TX 78213 | 210.375.9000
TEXAS ENGINEERING FIRM #470 | TEXAS SURVEYING FIRM #10028800

DATE OF PREPARATION: March 15, 2023

STATE OF TEXAS
COUNTY OF BEXAR

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SAN ANTONIO, TX 78216
(210) 403-6200

BY: U.S. HOMES CORPORATION, A DELAWARE CORPORATION, ITS GENERAL PARTNER

BY: NAME: RICHARD MOTT
TITLE: AUTHORIZED AGENT

STATE OF TEXAS
COUNTY OF BEXAR

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REBECCA ANN CARROLL
LICENSED PROFESSIONAL ENGINEER

STATE OF TEXAS
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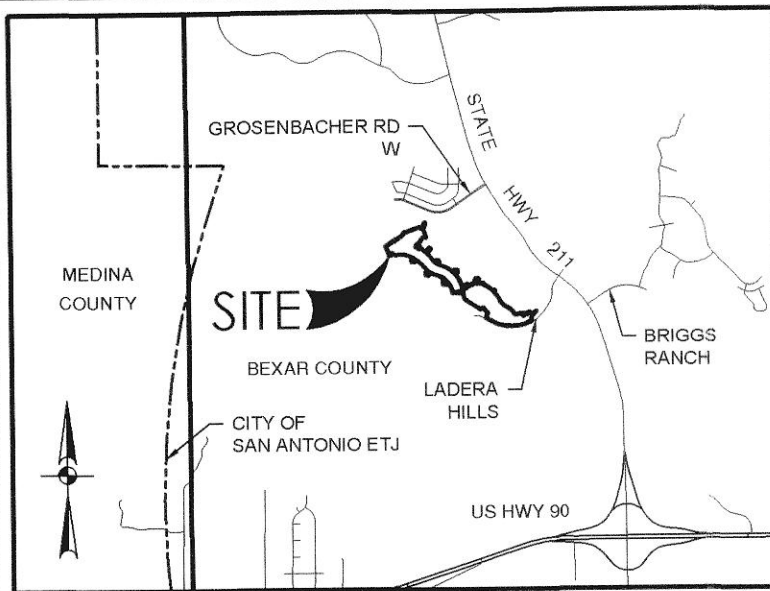
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G.E. BUCHANAN 03/15/2023
REGISTERED PROFESSIONAL LAND SURVEYOR

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SHEET 7 OF 11



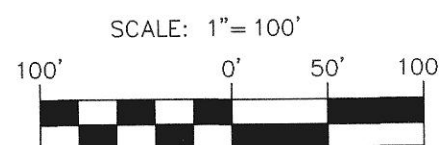
LOCATION MAP
NOT-TO-SCALE

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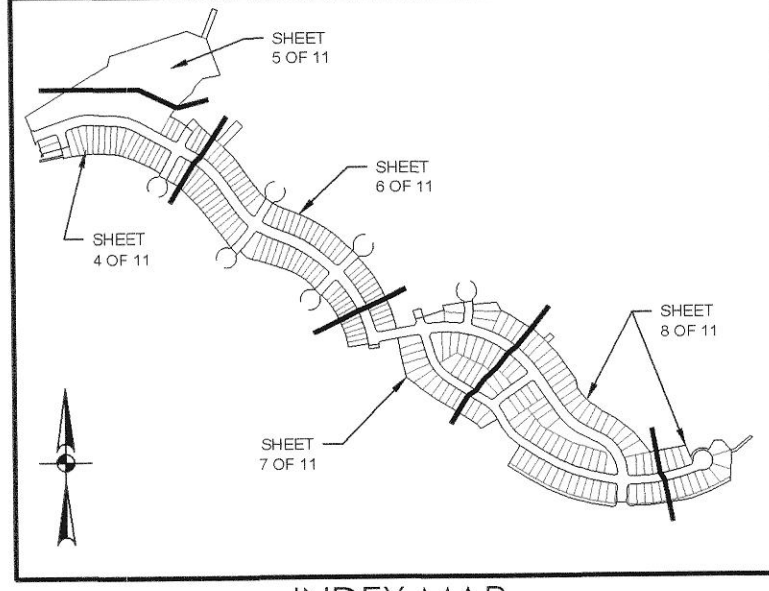
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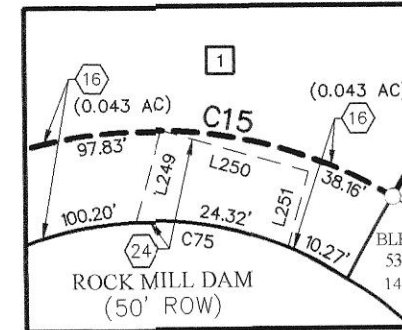
3. THIS PLAT DOES NOT AMEND, ALTER, RELEASE OR OTHERWISE AFFECT ANY EXISTING ELECTRIC, GAS, WATER, SEWER, DRAINAGE, TELEPHONE, CABLE TV EASEMENTS OR ANY OTHER EASEMENTS FOR UTILITIES, UNLESS THE CHANGES TO SUCH EASEMENTS ARE DESCRIBED HEREON.

4. CONCRETE DRIVEWAY APPROACHES ARE ALLOWED WITHIN THE FIVE (5) AND TEN (10) FOOT WIDE ELECTRIC AND GAS EASEMENTS WHEN LOTS ARE SERVED ONLY BY UNDERGROUND ELECTRIC AND GAS FACILITIES.

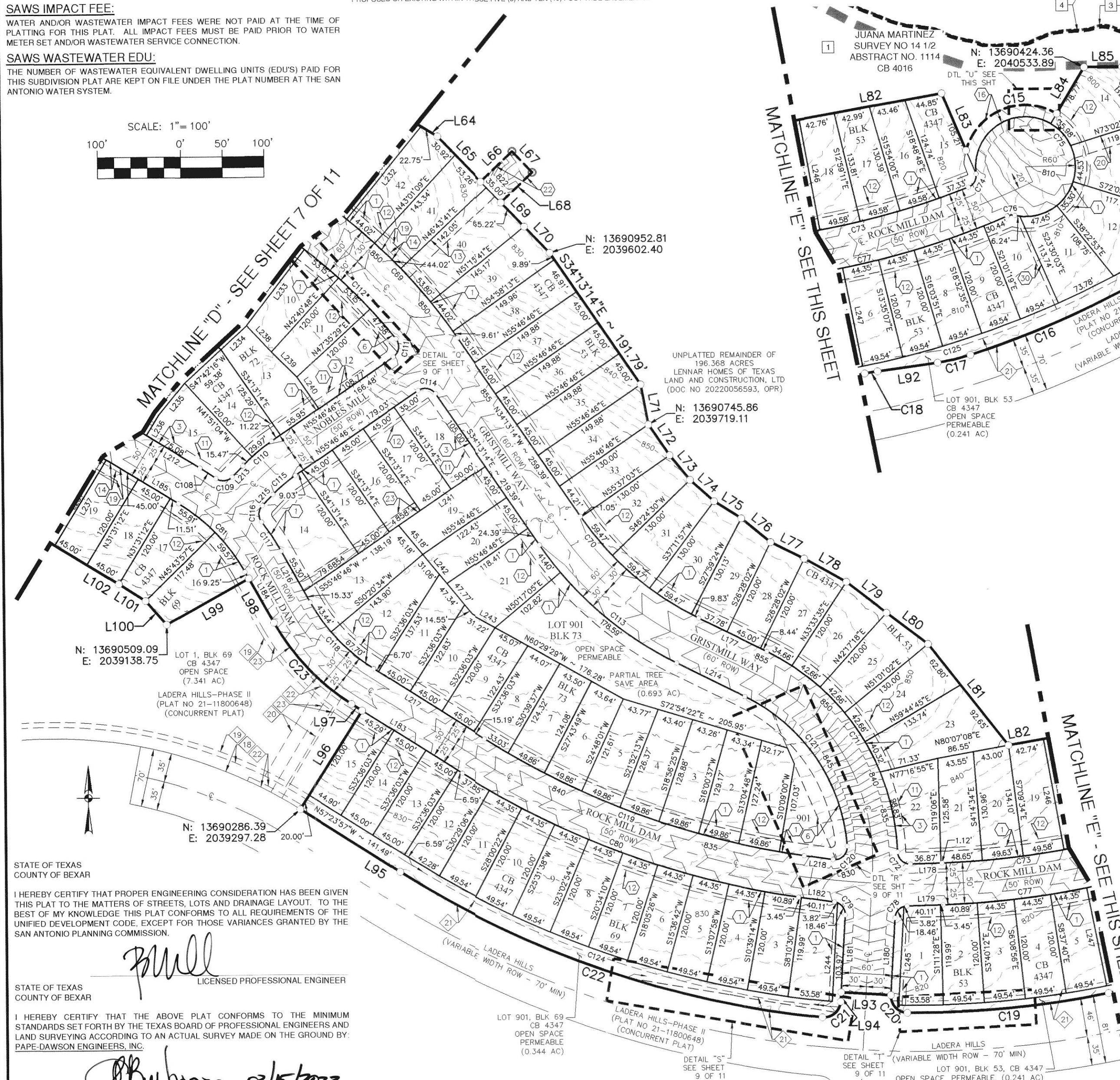
5. ROOF OVERHANGS ARE ALLOWED WITHIN THE FIVE (5) AND TEN (10) FOOT WIDE ELECTRIC AND GAS EASEMENTS WHEN ONLY UNDERGROUND ELECTRIC AND GAS FACILITIES ARE PROPOSED OR EXISTING WITHIN THOSE FIVE (5) AND TEN (10) FOOT WIDE EASEMENTS.



INDEX MAP
NOT-TO-SCALE



DETAIL "U"
SEE THIS SHEET
SCALE: 1" = 30'



PLAT NUMBER
21-11800671

REPLAT AND SUBDIVISION PLAT
ESTABLISHING
MILLBROOK-UNIT 1A

BEING A TOTAL OF 51.957 ACRE TRACT OF LAND, OUT OF THAT 196.368 ACRE TRACT OF LAND RECORDED IN DOCUMENT NUMBER 20220056593, OF THE OFFICIAL PUBLIC RECORDS OF BEXAR COUNTY, TEXAS, OUT OF THE JUANA MARTINEZ SURVEY NUMBER 14 1/2, ABSTRACT NUMBER 1114, COUNTY BLOCK 4016, BEXAR, TEXAS, ESTABLISHING LOT 1-49, 214-217 AND 901-903, BLOCK 53, LOT 1-17, BLOCK 58, LOT 1-15, BLOCK 60, LOT 1-15, BLOCK 61, LOT 1-14, BLOCK 63, LOT 1-13, BLOCK 64, LOT 1-2, BLOCK 65, LOT 1-12, BLOCK 66, LOT 1-13, BLOCK 67, LOT 2-30 AND 901, BLOCK 69, LOT 1, 12, AND 13, BLOCK 70, LOT 1-20, BLOCK 72, LOT 1-21, AND 901, BLOCK 73, COUNTY BLOCK 4347, BEXAR COUNTY, TEXAS.

**PAPE-DAWSON
ENGINEERS**

SAN ANTONIO | AUSTIN | HOUSTON | FORT WORTH | DALLAS
2000 NW LOOP 410 | SAN ANTONIO, TX 78213 | 210.375.9000
TEXAS ENGINEERING FIRM #470 | TEXAS SURVEYING FIRM #10028800

DATE OF PREPARATION: March 15, 2023

STATE OF TEXAS
COUNTY OF BEXAR

THE OWNER OF LAND SHOWN ON THIS PLAT, IN PERSON OR THROUGH A DULY AUTHORIZED AGENT, DEDICATES TO THE USE OF THE PUBLIC, EXCEPT AREAS IDENTIFIED AS PRIVATE OR PART OF AN ENCLAVE OR PLANNED UNIT DEVELOPMENT, FOREVER ALL STREETS, ALLEYS, PARKS, WATERCOURSES, DRAINS, EASEMENTS AND PUBLIC PLACES THEREON SHOWN FOR THE PURPOSE AND CONSIDERATION THEREIN EXPRESSED.

LENNAR HOMES OF TEXAS LAND AND CONSTRUCTION, LTD., A TEXAS LIMITED PARTNERSHIP
100 N.E. LOOP 410, SUITE 1155
SAN ANTONIO, TX 78216
(210) 403-6200

BY: U.S. HOMES CORPORATION, A DELAWARE CORPORATION, ITS GENERAL PARTNER

BY: *Richard Mott*
NAME: RICHARD MOTT
TITLE: AUTHORIZED AGENT

STATE OF TEXAS
COUNTY OF BEXAR

BEFORE ME, THE UNDERSIGNED AUTHORITY ON THIS DAY PERSONALLY APPEARED RICHARD MOTT KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN EXPRESSED AND IN THE CAPACITY THEREIN STATED, GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS 15 DAY OF MARCH, A.D. 2023.

Vanessa Klus
NOTARY PUBLIC, BEXAR COUNTY, TEXAS

CERTIFICATE OF APPROVAL

THE UNDERSIGNED, COUNTY JUDGE OF BEXAR COUNTY, TEXAS AND PRESIDING OFFICER OF THE COMMISSIONERS COURT OF BEXAR COUNTY, DOES HEREBY CERTIFY THAT THE ATTACHED PLAT WAS DULY FILED WITH THE COMMISSIONERS COURT OF BEXAR COUNTY, TEXAS AND THAT AFTER EXAMINATION IT APPEARED THAT SAID PLAT IS IN CONFORMITY WITH THE STATUTES, RULES AND REGULATIONS GOVERNING SAME, AND THIS PLAT WAS APPROVED BY THE SAID COMMISSIONERS COURT.

DATED THIS _____ DAY OF _____, A.D. 20 _____

COUNTY JUDGE, BEXAR COUNTY, TEXAS

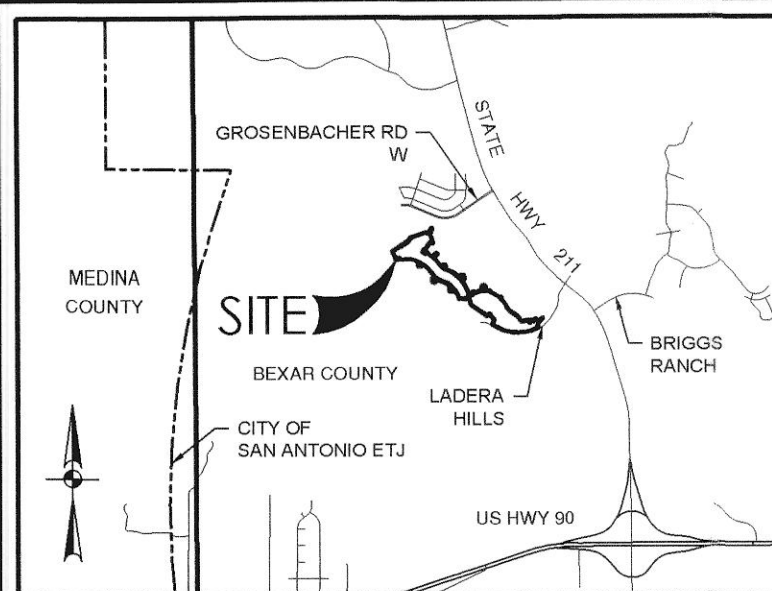
COUNTY CLERK, BEXAR COUNTY, TEXAS

THIS PLAT OF MILLBROOK-UNIT 1A HAS BEEN SUBMITTED TO AND CONSIDERED BY THE PLANNING COMMISSION OF THE CITY OF SAN ANTONIO, TEXAS, IS HEREBY APPROVED BY SUCH COMMISSION IN ACCORDANCE WITH STATE OR LOCAL LAWS AND REGULATIONS, AND/OR WHERE ADMINISTRATIVE EXCEPTION(S) AND/OR VARIANCE(S) HAVE BEEN GRANTED.

DATED THIS _____ DAY OF _____, A.D. 20 _____

BY: _____ CHAIRMAN

BY: _____ SECRETARY



LOCATION MAP
NOT-TO-SCALE

CPS/SAWS/COSA UTILITY:

1. THE CITY OF SAN ANTONIO AS PART OF ITS ELECTRIC, GAS, WATER, AND WASTEWATER SYSTEMS - CITY PUBLIC SERVICE BOARD (CPS ENERGY) AND SAN ANTONIO WATER SYSTEM (SAWS) - IS HEREBY DEDICATED EASEMENTS AND RIGHTS-OF-WAY FOR UTILITY, TRANSMISSION AND DISTRIBUTION INFRASTRUCTURE AND SERVICE FACILITIES IN THE AREAS DESIGNATED ON THIS PLAT AS "ELECTRIC EASEMENT," "ANCHOR EASEMENT," "SERVICE EASEMENT," "OVERHANG EASEMENT," "UTILITY EASEMENT," "GAS EASEMENT," "TRANSFORMER EASEMENT," "WATER EASEMENT," "SANITARY SEWER EASEMENT" AND/OR "RECYCLED WATER EASEMENT" FOR THE PURPOSE OF INSTALLING, CONSTRUCTING, RECONSTRUCTING, MAINTAINING, REMOVING, INSPECTING, PATROLLING, AND ERECTING UTILITY INFRASTRUCTURE AND SERVICE FACILITIES FOR THE REASONS DESCRIBED ABOVE. CPS ENERGY AND SAWS SHALL ALSO HAVE THE RIGHT TO RELOCATE SAID INFRASTRUCTURE AND SERVICE FACILITIES WITHIN EASEMENT AND RIGHT-OF-WAY AREAS, TOGETHER WITH THE RIGHT OF INGRESS AND EGRESS OVER GRANTOR'S ADJACENT LANDS FOR THE PURPOSE OF ACCESSING SUCH INFRASTRUCTURE AND SERVICE FACILITIES AND THE RIGHT TO REMOVE FROM SAID LANDS ALL TREES OR PARTS THEREOF, OR OTHER OBSTRUCTIONS WHICH ENDANGER OR MAY INTERFERE WITH THE EFFICIENCY OF WATER, SEWER, GAS, AND/OR ELECTRIC INFRASTRUCTURE AND SERVICE FACILITIES. NO BUILDING, STRUCTURE, CONCRETE SLABS, OR WALLS WILL BE PLACED WITHIN EASEMENT AREAS WITHOUT AN ENCROACHMENT AGREEMENT WITH THE RESPECTIVE UTILITY.

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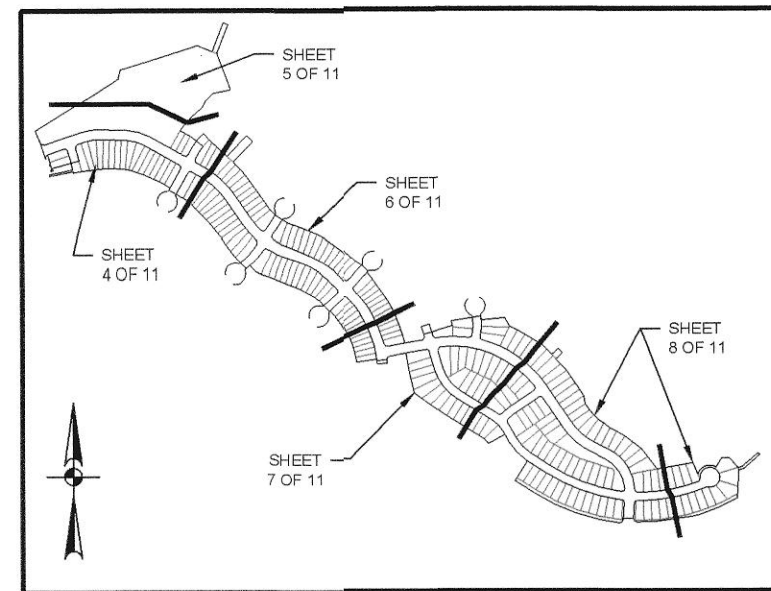
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SAWS IMPACT FEE:

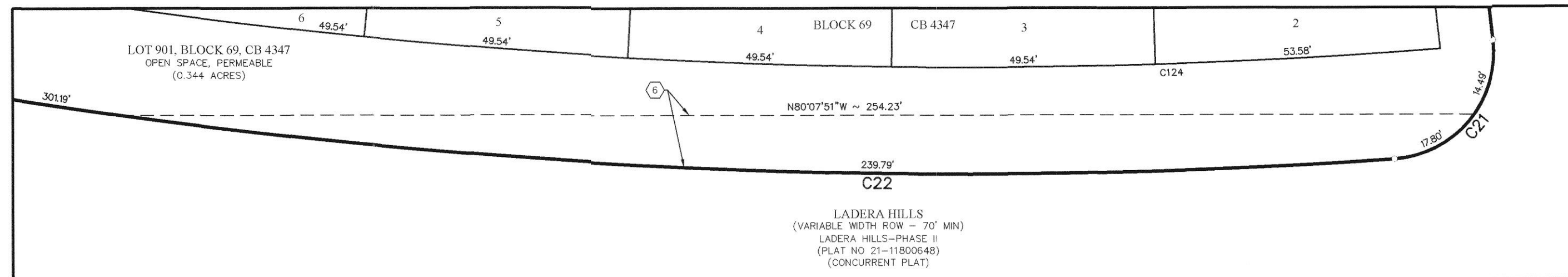
WATER AND/OR WASTEWATER IMPACT FEES WERE NOT PAID AT THE TIME OF PLATTING FOR THIS PLAT. ALL IMPACT FEES MUST BE PAID PRIOR TO WATER METER SET AND/OR WASTEWATER SERVICE CONNECTION.

SAWS WASTEWATER EDU:

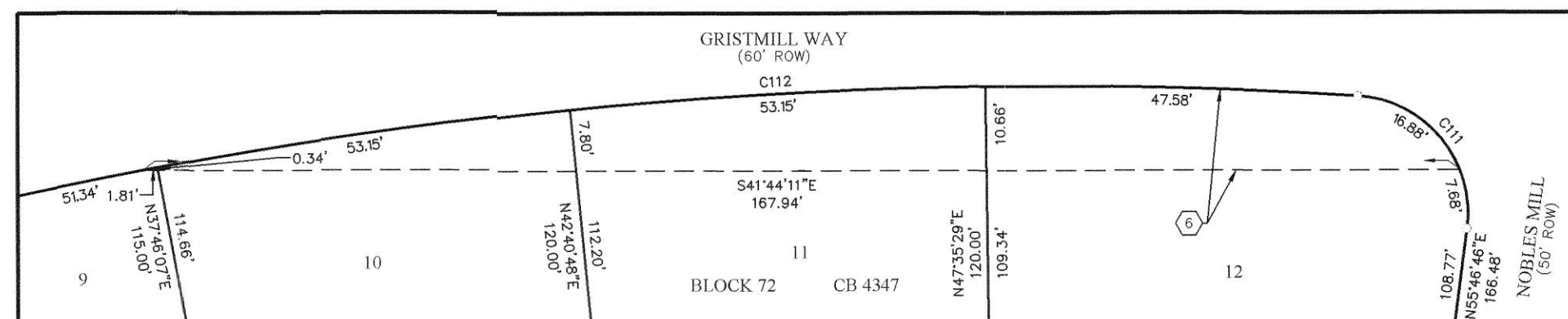
THE NUMBER OF WASTEWATER EQUIVALENT DWELLING UNITS (EDU'S) PAID FOR THIS SUBDIVISION PLAT ARE KEPT ON FILE UNDER THE PLAT NUMBER AT THE SAN ANTONIO WATER SYSTEM.



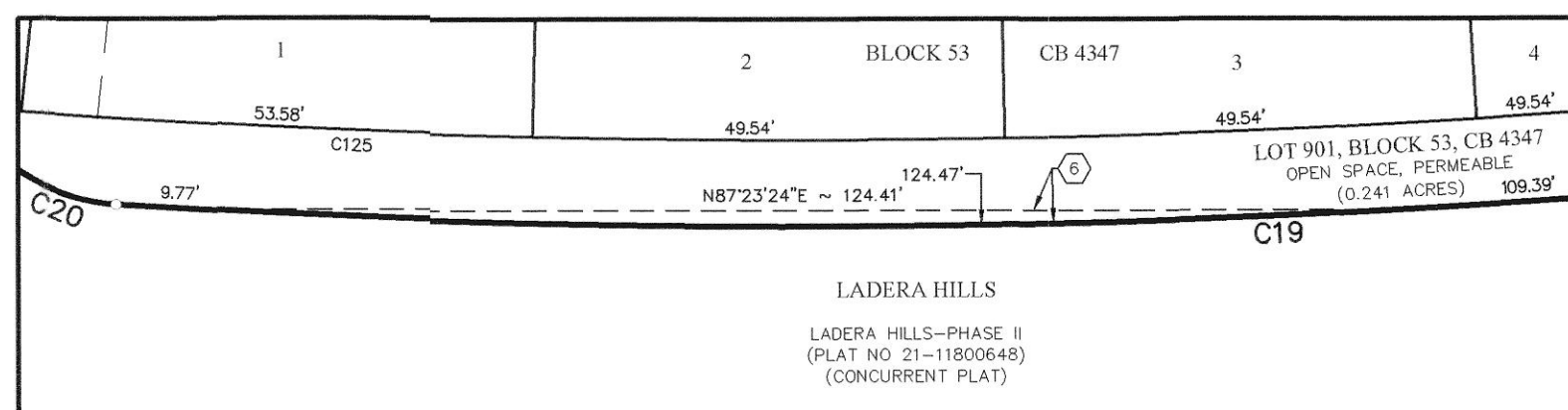
INDEX MAP
NOT-TO-SCALE



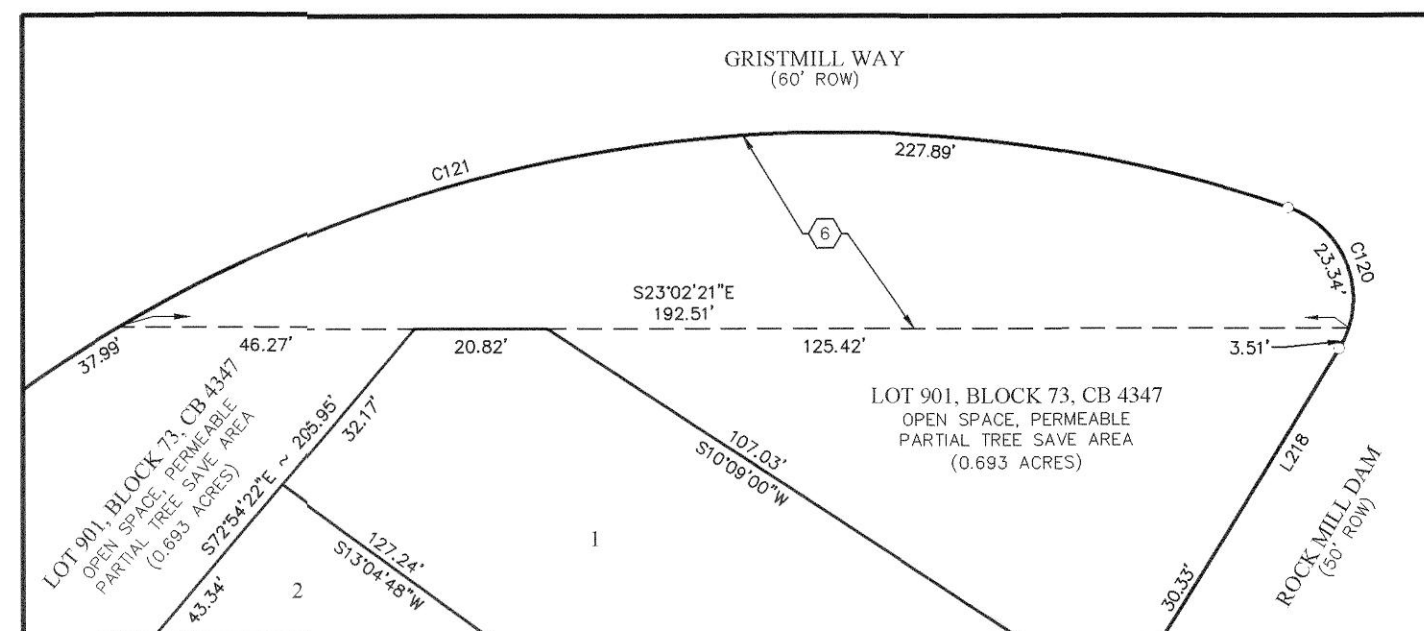
DETAIL "S"
SEE SHEET 8 OF 11
SCALE: 1" = 20'



DETAIL "Q"
SEE SHEET 7 & 8 OF 11
SCALE: 1" = 20'



DETAIL "T"
SEE SHEET 8 OF 11
SCALE: 1" = 20'



DETAIL "R"
SEE SHEET 8 OF 11
SCALE: 1" = 30'

STATE OF TEXAS
COUNTY OF BEXAR

I HEREBY CERTIFY THAT PROPER ENGINEERING CONSIDERATION HAS BEEN GIVEN THIS PLAT TO THE MATTERS OF STREETS, LOTS AND DRAINAGE LAYOUT, TO THE BEST OF MY KNOWLEDGE THIS PLAT CONFORMS TO ALL REQUIREMENTS OF THE UNIFIED DEVELOPMENT CODE, EXCEPT FOR THOSE VARIANCES GRANTED BY THE SAN ANTONIO PLANNING COMMISSION.

STATE OF TEXAS
COUNTY OF BEXAR

I HEREBY CERTIFY THAT THE ABOVE PLAT CONFORMS TO THE MINIMUM STANDARDS SET FORTH BY THE TEXAS BOARD OF PROFESSIONAL ENGINEERS AND LAND SURVEYING ACCORDING TO AN ACTUAL SURVEY MADE ON THE GROUND BY: PAPE-DAWSON ENGINEERS, INC.

Rebeccaann Carroll
REGISTERED PROFESSIONAL ENGINEER
92666
EXPIRATION DATE: 03/15/2023

G.E. Buchanan
REGISTERED PROFESSIONAL LAND SURVEYOR
4999
EXPIRATION DATE: 03/15/2023

PLAT NOTES APPLY TO EVERY PAGE
OF THIS MULTIPLE PAGE PLAT

SEE SHEET 2 & 3 FOR LINE AND
CURVE TABLES

SHEET 9 OF 11



PLAT NUMBER
21-11800671REPLAT AND SUBDIVISION PLAT
ESTABLISHING
MILLBROOK-UNIT 1A

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**PAPE-DAWSON
ENGINEERS**

SAN ANTONIO | AUSTIN | HOUSTON | FORT WORTH | DALLAS
2000 NW LOOP 410 | SAN ANTONIO, TX 78213 | 210.375.9000
TEXAS ENGINEERING FIRM #470 | TEXAS SURVEYING FIRM #1028800

DATE OF PREPARATION: March 15, 2023

STATE OF TEXAS
COUNTY OF BEXAR

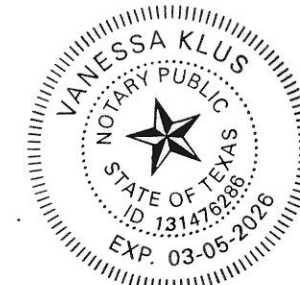
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LENNAR HOMES OF TEXAS LAND AND CONSTRUCTION, LTD., A TEXAS LIMITED PARTNERSHIP
100 N.E. LOOP 410, SUITE 1155
SAN ANTONIO, TX 78216
(210) 403-6200

BY: U.S. HOMES CORPORATION, A DELAWARE CORPORATION, ITS GENERAL PARTNER

BY: 
NAME: RICHARD MOTT
TITLE: AUTHORIZED AGENTSTATE OF TEXAS
COUNTY OF BEXAR

BEFORE ME, THE UNDERSIGNED AUTHORITY ON THIS DAY PERSONALLY APPEARED RICHARD MOTT KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN EXPRESSED AND IN THE CAPACITY THEREIN STATED. GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS 15th DAY OF March, A.D. 2023.



NOTARY PUBLIC, BEXAR COUNTY, TEXAS

CERTIFICATE OF APPROVAL

THE UNDERSIGNED, COUNTY JUDGE OF BEXAR COUNTY, TEXAS AND PRESIDING OFFICER OF THE COMMISSIONERS COURT OF BEXAR COUNTY, TEXAS, DOES HEREBY CERTIFY THAT THE ATTACHED PLAT WAS DULY FILED WITH THE COMMISSIONERS COURT OF BEXAR COUNTY, TEXAS AND THAT AFTER EXAMINATION IT APPEARED THAT SAID PLAT IS IN CONFORMITY WITH THE STATUTES, RULES AND REGULATIONS GOVERNING SAME, AND THIS PLAT WAS APPROVED BY THE SAID COMMISSIONERS COURT.

DATED THIS _____ DAY OF _____, A.D. 20____

COUNTY JUDGE, BEXAR COUNTY, TEXAS

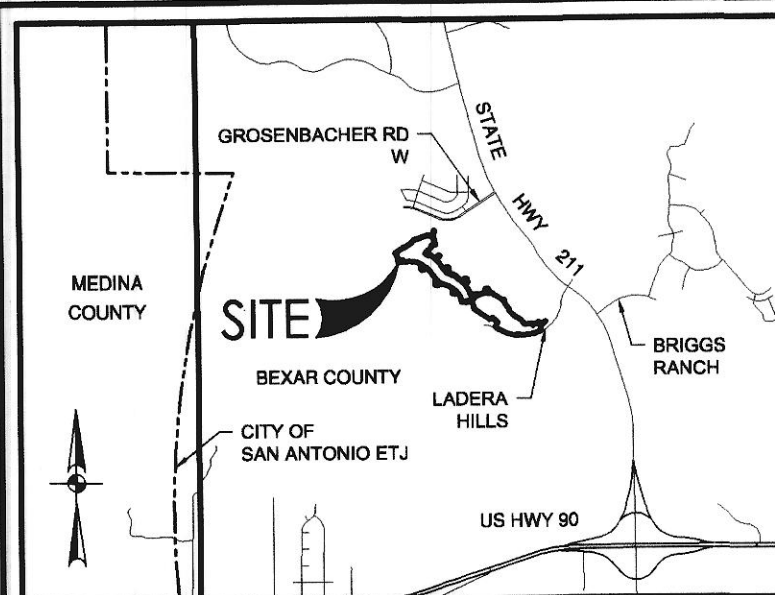
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DATED THIS _____ DAY OF _____, A.D. 20____

BY: _____ CHAIRMAN

BY: _____ SECRETARY

LOCATION MAP
NOT-TO-SCALE

FLOODPLAIN VERIFICATION:

NO PORTION OF THE FEMA 1% ANNUAL CHANCE (100-YEAR) FLOODPLAIN EXISTS WITHIN A BUILDABLE AREA OF THIS PLAT AS VERIFIED BY FEMA MAP PANEL: 48029C0345F, EFFECTIVE DATE SEPTEMBER 29, 2010. FLOODPLAIN INFORMATION IS SUBJECT TO CHANGE AS A RESULT OF FUTURE FEMA MAP REVISIONS AND/OR AMENDMENTS.

CLOMRS PENDING FEMA APPROVAL:

A FEMA CLOMR FLOODPLAIN STUDY HAS BEEN PREPARED BY PAPE-DAWSON ENGINEERS, INC. AND WAS APPROVED BY THE CITY OF SAN ANTONIO AND/OR BEXAR COUNTY. THE FLOODPLAIN STUDY (FEMA CASE NO. 23-06-04298) IS PENDING APPROVAL BY FEMA. FLOODPLAIN INFORMATION IS SUBJECT TO CHANGE AS A RESULT OF FUTURE FEMA MAP REVISIONS AND/OR AMENDMENTS.

DRAINAGE EASEMENT ENCROACHMENTS:

NO STRUCTURE, FENCES, WALLS OR OTHER OBSTRUCTIONS THAT IMPEDE DRAINAGE SHALL BE PLACED WITHIN THE LIMITS OF THE DRAINAGE EASEMENTS SHOWN ON THIS PLAT. NO LANDSCAPING OR OTHER TYPE OF MODIFICATIONS, WHICH ALTER THE CROSS-SECTIONS OF THE DRAINAGE EASEMENTS, AS APPROVED, SHALL BE ALLOWED WITHOUT THE APPROVAL OF THE DIRECTOR OF TCI OR DIRECTOR OF PUBLIC WORKS. THE CITY OF SAN ANTONIO AND BEXAR COUNTY SHALL HAVE THE RIGHT OF INGRESS AND EGRESS OVER THE GRANTOR'S ADJACENT PROPERTY TO REMOVE ANY IMPEDING OBSTRUCTIONS PLACED WITHIN THE LIMITS OF SAID DRAINAGE EASEMENT AND TO MAKE ANY MODIFICATIONS OR IMPROVEMENTS WITHIN SAID DRAINAGE EASEMENTS.

CPS/SAWS/COSA UTILITY:

1. THE CITY OF SAN ANTONIO AS PART OF ITS ELECTRIC, GAS, WATER, AND WASTEWATER SYSTEMS - CITY PUBLIC SERVICE BOARD (CPS ENERGY) AND SAN ANTONIO WATER SYSTEM (SAWS) - IS HEREBY DEDICATED EASEMENTS AND RIGHTS-OF-WAY FOR UTILITY, TRANSMISSION AND DISTRIBUTION INFRASTRUCTURE AND SERVICE FACILITIES IN THE AREAS DESIGNATED ON THIS PLAT AS "ELECTRIC EASEMENT," "ANCHOR EASEMENT," "SERVICE EASEMENT," "OVERHANG EASEMENT," "UTILITY EASEMENT," "GAS EASEMENT," "TRANSFORMER EASEMENT," "WATER EASEMENT," "SANITARY SEWER EASEMENT" AND/OR "RECYCLED WATER EASEMENT" FOR THE PURPOSE OF INSTALLING, CONSTRUCTING, RECONSTRUCTING, MAINTAINING, REMOVING, INSPECTING, PATROLLING, AND ERECTING UTILITY INFRASTRUCTURE AND SERVICE FACILITIES FOR THE REASONS DESCRIBED ABOVE. CPS ENERGY AND SAWS SHALL ALSO HAVE THE RIGHT TO RELOCATE SAID INFRASTRUCTURE AND SERVICE FACILITIES WITHIN EASEMENT AND RIGHT-OF-WAY AREAS, TOGETHER WITH THE RIGHT OF INGRESS AND EGRESS OVER GRANTOR'S ADJACENT LANDS FOR THE PURPOSE OF ACCESSING SUCH INFRASTRUCTURE AND SERVICE FACILITIES AND THE RIGHT TO REMOVE FROM SAID LANDS ALL TREES OR PARTS THEREOF, OR OTHER OBSTRUCTIONS WHICH ENDANGER OR MAY INTERFERE WITH THE EFFICIENCY OF WATER, SEWER, GAS, AND/OR ELECTRIC INFRASTRUCTURE AND SERVICE FACILITIES. NO BUILDING, STRUCTURE, CONCRETE SLABS, OR WALLS WILL BE PLACED WITHIN EASEMENT AREAS WITHOUT AN ENCROACHMENT AGREEMENT WITH THE RESPECTIVE UTILITY.

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5. ROOF OVERHANGS ARE ALLOWED WITHIN THE FIVE (5) AND TEN (10) FOOT WIDE ELECTRIC AND GAS EASEMENTS WHEN ONLY UNDERGROUND ELECTRIC AND GAS FACILITIES ARE PROPOSED OR EXISTING WITHIN THOSE FIVE (5) AND TEN (10) FOOT WIDE EASEMENTS.

RESIDENTIAL FIRE FLOW:

THE PUBLIC WATER MAIN SYSTEM HAS BEEN DESIGNED FOR A MINIMUM FIRE FLOW DEMAND OF 1000 GPM AT 25 PSI RESIDUAL PRESSURE TO MEET THE CITY OF SAN ANTONIO'S FIRE FLOW REQUIREMENTS FOR THE RESIDENTIAL DEVELOPMENT. THE FIRE FLOW REQUIREMENTS FOR INDIVIDUAL STRUCTURES WILL BE REVIEWED PRIOR TO BUILDING PERMIT APPROVAL IN ACCORDANCE WITH THE PROCEDURES SET FORTH BY THE CITY OF SAN ANTONIO DIRECTOR OF DEVELOPMENT SERVICES AND THE SAN ANTONIO FIRE DEPARTMENT FIRE MARSHAL.

COUNTY FINISHED FLOOR ELEVATION-(RELATIVE TO FLOODPLAIN)

FINISHED FLOOR ELEVATIONS FOR STRUCTURES ON LOTS CONTAINING FLOODPLAIN OR ADJACENT TO THE FLOODPLAIN SHALL BE IN COMPLIANCE WITH THE FLOODPLAIN REGULATION IN EFFECT AT TIME OF CONSTRUCTION. CONTACT BEXAR COUNTY PUBLIC WORKS FOR MORE INFORMATION. (LOT AFFECTED IS LOT 14, BLOCK 53.)

RESIDENTIAL FINISHED FLOOR

RESIDENTIAL FINISHED FLOOR ELEVATIONS MUST BE A MINIMUM OF EIGHT (8) INCHES ABOVE FINAL ADJACENT GRADE.

